

AGENDA

REGULAR MEETING OF THE MIDLAND CITY PLANNING COMMISSION, TO TAKE PLACE ON TUESDAY, MAY 10, 2016, 7:00 P.M., COUNCIL CHAMBERS, CITY HALL, MIDLAND, MICHIGAN

1. Call to Order

2. Pledge of Allegiance to the Flag

3. Roll Call

4. Approval of the Minutes

Regular Meeting – April 26, 2016

5. Public Hearings

- a. [Site Plan No. 347](#) - initiated by Designhaus Architecture on behalf of DLR Development, LLC for site plan review and approval for a 56,000 square foot medical office building, located at 801 Joe Mann Boulevard.
- b. [Site Plan No. 348](#) – initiated by Jason Bakus for site plan review and approval for a 19,520 square foot self-storage units, located at 5911 Stark Road.

Public Hearing Process

1. Staff presentation and overview of petition
2. Petitioner presentation
3. Public comments in support of the petition
4. Public comments in opposition to the petition
5. Opportunity for petitioner rebuttal and final comments
6. Closing of public hearing
7. Deliberation and possible decision by Planning Commission

6. Old Business

- a. [North Waldo Road](#) – Future Land Use
- b. [North Saginaw Road](#) – Future Land Use
- c. [Various Amendments](#) – Future Land Use

7. Public Comments (unrelated to items on the agenda)

8. New Business

- a. [CCA Overlay District Sign Revisions](#)

9. Communications

10. Report of the Chairperson

11. Report of the Planning Director

12. Items for Next Agenda – May 24, 2016

- a. Site Plan No. 349 – initiated by Prein&Newhof on behalf of Northwood University for a 75,350 square foot North Village Housing, located at 4203 West Sugnet Road.
- b. Discussion of future training needs/topics

13. Adjournment

**MINUTES OF THE MEETING OF THE
MIDLAND CITY PLANNING COMMISSION
WHICH TOOK PLACE ON
TUESDAY, APRIL 26, 2016, 7:00 P.M.,
COUNCIL CHAMBERS, CITY HALL, MIDLAND, MICHIGAN**

1. The meeting was called to order at 7:00 p.m. by Chairman McLaughlin
2. The Pledge of Allegiance was recited in unison by the members of the Commission and the other individuals present.

3. **Roll Call**

PRESENT: Bain, Hanna, Heying, Mayville, McLaughlin, Pnacek, Senesac, and Tanzini

ABSENT: Stewart

OTHERS PRESENT: Brad Kaye, Assistant City Manager for Development Services; Debbie Marquardt, Technical Secretary; and nine (9) others.

4. **Approval of Minutes**

Moved by Heying and seconded by Hanna to approve of the amended minutes of the regular meeting of April 12, 2016. Motion passed unanimously.

5. **Public Hearing**

- a. Site Plan No. 346 – initiated by Northwood University for site plan review and approval for a 9,902 square foot addition at the Hall of Fame building, located at 4000 Whiting Drive.

Mr. Kaye presented the site plan for Northwood University. It is zoned Community. The application meets all the standards of the Zoning Ordinance. The recommendation of staff is that this application be approved based on recommended contingencies. No public comments have been received on advance of the meeting.

John VerPlank, 3355 Evergreen Drive, Grand Rapids, MI 49525 presented on behalf of the applicant. He provided a quick summary, explaining that the northerly portion of the addition is a heating and cooling plant while the southerly addition is for future office and classroom space. The changes will bring together the accounting and finance departments. Regarding the concerns noted in the staff report, they will hold off on the parking lot lighting for now. The requested bike rack has been located near the entrance of the door to the building.

Public hearing closed.

A motion was made by Senesac to waive the procedural requirements to delay a decision on the site plan until the next meeting. The motion was seconded by Mayville. The motion was approved unanimously.

Senesac thinks it is a good site plan and meets all the criteria. Heying is glad to see the investment in the community and that site.

It was moved by Senesac and supported by Mayville to recommend approval of Site Plan No. 346 initiated by Northwood University for site plan review and approval to City Council contingent on:

1. A bike rack must be included.
2. Light poles cannot exceed 30 feet in height above grade.
3. A final stormwater management permit amendment must be approved by the City Engineering Department.

YEAS: Bain, Hanna, Heying, Mayville, McLaughlin, Pnacek, Senesac, and Tanzini.

NAYS:

ABSENT: Stewart

6. Old Business

- a. Zoning Petition No. 605 – initiated by Primrose Retirement Communities, LLC to rezone a portion of the property located at 5900 Waldo Avenue from Township zoning to Residential B Multiple-Family Residential zoning.

Kaye gave a brief background. The location is a vacant site and 14 acres in size. Much of the surrounding area is either vacant or agricultural. The applicant has offered conditions to the zoning request. The first option would eliminate multiple family dwellings. The second option would only permit two family dwellings, senior apartments and elderly housing and congregate housing and dependent housing facilities. The commission can accept the offer to eliminate multiple family dwellings, accept both offers or accept neither offers. Staff is recommending that the first option sufficiently addresses the previous concerns expressed about general compliance with the Master Plan.

Senesac questioned whether or not a property owner can remove uses such as fire stations and schools through a conditional rezoning offer. Kaye stated that the property owner can make the offer but only City Council can pass an ordinance giving effect to this as the land owner does not have zoning authority. Senior apartments and multiple family dwellings can be a range of different uses. Senior apartments are age restricted based on the definition in the ordinance. High density, per the Master Plan, is greater than 10 units per acre. It was also clarified that the offer to remove uses would apply to the zoning of the parcel and not just the project intended by Primrose.

Heying indicated that he did not want to narrow the options more than necessary. When he looks at the list of potential uses, there are a number of them. It makes sense to eliminate multiple family dwellings. Kaye stated that as planners we want to be as broad and flexible as we can. We try not to pigeon hole a property to just a few uses if that is not necessary.

Senesac thinks that both of the conditional proposals they have leave in two family dwellings. Senior housing is age limitations in the dwellings. Senior apartments, however, would allow the highest density zoning that we have in the city. He sees no reason to do this.

Heying responded that he is at the other end of it. If you think about that whole area, and what is it going to look like in the future, he feels the proposal meets the Master Plan intent when you look at what this request does. This area has a road structure and utility structure that would accommodate this kind of potential concentration of people. It looks like a good option. It is adjacent to medium density and it fits the trend for that particular part of the city.

Pnacek sees this property and this area as high density. He is in favor of this. There needs to be a buffer to this property to the east.

Bain explained that he struggles to divorce this zoning request from the details of the project as presented by Primrose. That said, he supports the first restriction.

Tanzini believes in following the Master Plan as best we can. He struggles with Residential A-1, A-

2 and A-3 as he does not think they line up with the Master Plan densities. He sees a much higher use for this area of the city. Residential B zoning up to Diamond Drive he can support and that area can take it.

Senesac asked about a Master Plan to Zoning Ordinance comparison done previously. Kaye explained that four years ago the Planning Commission developed a chart with these comparisons. The charts shows Residential A-1, A-2 and A-3 allowed less than six dwelling units per acre. Residential A-4 was set at 7 to 10 units per acres. Residential B goes from 12.1 units and anywhere up to 30 units per acre. These generally equate to the Low, Medium and High Density designations of the Master Plan, respectively.

McLaughlin said that this is a difficult decision but he supports option one. He is looking at some of the challenges in the future. How far north is that lower density going to prevail? You are looking at a trend of development and it is lessening in intensity. The Planning Commission will have to circle back and take a look at the Master Plan. The best rational is it is transitional from commercial to a form of medium density and he likes option one best.

It was moved by Heying and support by Pnacek to recommend approval of Zoning Petition No. 605 initiated by Primrose Retirement Communities, LLC to zone a portion of the property located at 5900 Waldo Avenue from Township zoning to Residential B Multiple-Family Residential zoning with the following offered condition:

1. Elimination of Multiple-Family dwellings from the list of permitted uses.

YEAS: Bain, Hanna, Heying, Mayville, McLaughlin, Pnacek, and Tanzini.

NAYS: Senesac

ABSENT: Stewart

7. Public Comments (unrelated to items on the agenda)

None

8. New Business

a. Temporary Accessory Buildings

Kaye presented an overview of problems arising from the increased use of temporary accessory buildings. Most of these temporary structures go up without the required permits and city review. Existing temporary use standards were developed more to regulate commercial land than residential. In addition to aesthetic issues, such structures are required to meet all of the construction code standards. Temporary structures under the Residential Building Code may only be permitted for up to 180 days. Even when approved as temporary use, such structures must comply with all construction code standards.

Planning Staff presented three options for the Planning Commission to consider. They could allow them as a temporary use with time restraints, they could permit them and regulate them as a permanent use, or they could prohibit them entirely.

Pnacek agrees with prohibiting them entirely. They must follow the building code if they want them. Senesac stated that the uses were actually for storage purposes. It is hard to find one that is being used as an actual building.

Tanzini struggles with this and he can't agree with prohibiting them entirely. Even though most people will be unwilling to comply with construction code standards, the option should be provided. Hanna agrees with Tanzini as she feels sometimes it is appropriate and other times it isn't.

Pnacek states that with a permit, and if they have to follow the code, you are going to eliminate a lot of those structures. Commissioners agreed this was a likely outcome.

Tanzini believes they should be considered as an accessory structure. They will need a permit and comply with the building code as an accessory structure. Pnacek, McLaughlin and the majority of the Planning Commission agreed with Tanzini.

9. Communications

Planning and Zoning News, March edition, was distributed to the Commission.

10. Report of the Chairperson

None.

11. Report of the Planning Director

Kaye reported that Commissioner Stewart has accepted a job out of town and has tendered his resignation to the Planning Commission. Senesac is leaving the Planning Commission at the end of June. City Council has asked for applicants and the interviews will be in a few weeks.

Hanna questioned if a training session could be organized. Kaye indicated that staff are considered that now but would not recommend it take place until after the two new commissioners have started in July. Sometime in May or June staff will initiate a discussion with the commissioners for topics for the training session.

12. Items for Next Agenda – May 10, 2016

- a. Site Plan No. 347 – initiated by Designhaus Architecture on behalf of DLR Development, LLC for a 56,000 square foot medical office building, located at 801 Joe Mann Boulevard.
- b. Site Plan No. 348 – initiated by Jason Bakus for a 19,520 square foot self-storage units, located at 5911 Stark Road.
- c. North Waldo Road – Future Land Use Map
- d. North Saginaw Road – Future Land Use Map
- e. Various Amendments – Future Land Use Map

13. Adjourn

It was motioned by Hanna and seconded by Senesac to adjourn at 8:41 p.m. Motion passed unanimously.

Respectfully submitted,



C. Bradley Kaye, AICP, CFM
Assistant City Manager for Development Services

MINUTES ARE NOT FINAL UNTIL APPROVED BY THE PLANNING COMMISSION



Site Plan SP #347

Date: May 3, 2016

STAFF REPORT TO THE PLANNING COMMISSION

SUBJECT: Medical Office Building

APPLICANT: Designhaus Architecture on behalf of DLR Development, LLC.

LOCATION: 801 Joe Mann Boulevard

ZONING: (RC) Regional Commercial

ADJACENT ZONE: All Sides: (RC) Regional Commercial

ADJACENT DEV: North: Hotels and vacant grass lot
 South: Vacant grass lots
 East: Hotel, Automobile dealership
 West: Big box retail, automotive repair business

REPORT

Site Plan No. 347 from Designhaus Architecture on behalf of DLR Development, LLC is for the construction of a 3-story, 55,872 square foot medical office building and clinic. The site plan includes the single building with parking facilities, stormwater management facilities, and landscaping.

The subject property is zoned (RC) Regional Commercial by the City of Midland Zoning Ordinance. Medical clinics and medical offices are permitted uses by right within the Regional Commercial zoning district. Site plan review and approval under Section 27.02(A) of the Zoning Ordinance is required for this proposed use. Section 27.06(A) of the Zoning Ordinance states that: "The following criteria shall be used as a basis upon which site plans will be reviewed and approved:"

BASIS FOR ACTION

1. Adequacy of Information

The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.

The site plan contains all of the information required for site plan approval but is in need of

final approval of the following items:

- A final stormwater permit must be approved by the City Engineering Department.
- A final soil erosion and sedimentation control permit must be approved by the City Building Department.
- Public water utility easement documents shall be submitted for review and approval by the City Engineering Department and the City Attorney, and executed and recorded at the Midland County Register of Deeds upon approval.

2. **Site Design Characteristics**

All elements of the site design shall be harmoniously and efficiently organized in relation to topography, the size and type of parcel, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted by this Ordinance.

The proposed medical building appears to be located within the center of the site in order to accommodate the necessary number of parking spaces to serve the uses proposed within the building. The existing stormwater detention pond is proposed to remain to handle the new impervious area as part of the development and to continue to handle the water from the Belle Tire site (815 Joe Mann).

3. **Appearance**

Landscaping, earth berms, fencing, signs, walls and other similar site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments.

The building orientation and layout appear to maximize the access by vehicle users, while making accommodations for pedestrians, bicyclists, and users of the City's Dial-A-Ride Transportation. It appears to fit well within the established built environment in this commercial and auto-oriented part of the city.

4. **Compliance with District Regulations**

The site plan shall comply with the district requirements for height of building, lot size, lot coverage, density, and all other requirements set forth in the Schedule of Regulations (Article 26.00) unless otherwise provided in this Ordinance.

The project meets all setbacks, lot area, height and other dimensional requirements for the proposed use in the RC zoning district.

5. **Preservation and Visibility of Natural Features**

Natural features shall be preserved as much as possible, by minimizing tree and soil removal alteration to the natural drainage course and the amount of cutting, filling, and grading.

The proposal is utilizing the natural drainage course of the site that currently exists. The site is void of any mature trees so tree preservation is not applicable.

6. **Privacy**

The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate if permitted, for the protection and enhancement of property and the safety and privacy of occupants and uses.

The proposed use in this zoning district is not required to provide any specific privacy measures given its location well within this commercial and auto-oriented area of the city.

7. Emergency Vehicle Access

All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

The Fire Department has reviewed the proposed site plan for adequate emergency vehicle access and is satisfied with the plan as proposed. Adequate access will exist on all sides of the proposed building.

8. Ingress and Egress

Every structure or dwelling unit shall be provided with adequate means of ingress and egress via public or private streets and pedestrian walkways.

Adequate vehicular site access is proposed utilizing a new single driveway access located on the outer edge of the curve of Joe Mann Boulevard. The proposed location is the preferred location by the City Engineering Department and meets the spacing standards of the City's Zoning Ordinance.

The owner of the properties to the south of the site, 804 & 724 Cinema Boulevard, has indicated an interest in shared/cross vehicular access between the three sites. Discussions between the property owners have taken place but no resolution has been reached to provide this connection. While staff does not see a great public benefit to shared access between the three sites, it is worth discussing the option in the event the future development of 804 & 724 Cinema Boulevard results in shared access providing a mutual benefit between the sites.

9. Pedestrian Circulation

Each site plan shall provide a pedestrian circulation system, which is insulated as completely as is reasonably possible from the vehicular circulation system.

Pedestrian circulation for this proposal is seen as adequate. Access to the building is provided via a pedestrian connection along the east side of the building from the sidewalk along the right-of-way of Joe Mann Boulevard. A sidewalk around the entire building is also included which will facilitate users from their vehicles to the entrances of the building.

10. Vehicular and Pedestrian Circulation Layout

The layout of vehicular and pedestrian circulation systems shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry in accordance with subsection 3.10. In order to insure public safety and promote efficient traffic flow and turning movements, the applicant may be required to limit street access points or construct a secondary access road.

Both vehicle and pedestrian circulation is considered appropriate for this development. However, discussion and resolution of the request for shared access should be considered.

11. **Parking.**

The proposed development shall provide adequate off-street parking in accordance with the requirements in Article 5.00 of this ordinance.

The parking proposed for the new development is compliant with Article 5.00 of the Zoning Ordinance, as demonstrated in the parking calculations on page C3.0.

12. **Drainage**

The project must comply with the City's Stormwater Ordinance.

The City Engineering Department has reviewed the proposal and indicated that the site plan presents adequate accommodate for stormwater. The final stormwater permit approval, which is typically addressed at the final permitting stage, must still be signed off by the City Engineering Department.

13. **Soil Erosion and Sedimentation**

The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current State, County, and City standards.

Soil erosion and sedimentation control information has been submitted for review and approval by the City Building Department. Final approval on this permit, which is typically addressed at the final permitting stage, is still necessary.

14. **Exterior Lighting**

Exterior lighting shall be designed so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets and comply with the provisions in Section 3.12.

The applicant has submitted a photometric plan that demonstrate compliance with city standards for illumination.

15. **Public Services**

Adequate services and utilities, including water, sewage disposal, sanitary sewer, and storm water control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development. All streets and roads, water, sewer, and drainage systems, and similar facilities shall conform to the design and construction standards of the City.

As previously discussed, a final stormwater management permit must be approved by the City Engineering Department. This is typically addressed at final permitting stage.

The City Fire and Utility Departments are satisfied with the water main extension proposed within the site plan. A 20' public utility easement shall be given to the City to protect this main and the service it provides to the fire hydrant within the development. Drafting and execution of this type of easement is typically handled during construction.

16. **Screening**

Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas shall be screened by walls or landscaping of adequate height and shall comply with Articles 6.00 and 7.00 of this Ordinance. All roof-top mechanical equipment

shall be screened from view from all residential districts and public roadways.

The proposal meets all screening requirements of the ordinance, including the dumpster screening provisions.

17. Health and Safety Concerns

Any use in any zoning district shall comply with all applicable public health, pollution, and safety laws and regulations.

No health and safety concerns have been identified.

18. Sequence of Development

All development phases shall be designed in logical sequence to insure that each phase will independently function in a safe, convenient and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.

The applicant has indicated that this will be built in one phase.

19. Coordination with Adjacent Sites

All site features; including circulation, parking, building orientation, landscaping, lighting, utilities, common facilities, and open space shall be coordinated with adjacent properties.

The proposal is fully contained on one site.

20. Signs.

All proposed signs shall be in compliance with the regulations in Article 8.00 of this Ordinance

The signage concepts shown appear to be in compliance with the City's standards. All signage will need to meet the requirements of Article 8.00 and be approved by the City Building Department before installation.

CONTINGENCY ITEMS

Based on consideration of the site plan thus far, staff is of the opinion that the proposal adequately meets city requirements and is designed in a manner which is harmonious with the campus. That said, however, approval of the site plan could be considered subject to the following contingencies:

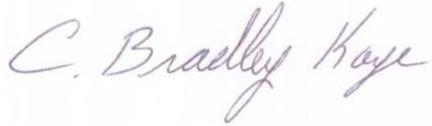
1. A final stormwater management permit must be approved by the City Engineering Department.
2. A final soil and sedimentation control plan must be approved by the City Building Department.
3. Public water utility easement documents shall be submitted for review and approval by the City Engineering Department and the City Attorney, and executed and recorded at the Midland County Register of Deeds upon approval.

PLANNING COMMISSION ACTION

Staff currently anticipates that the Planning Commission will hold a public hearing on this request during its regular meeting on May 10, 2016 and will formulate a recommendation to City

Council thereafter. If recommended to City Council the same evening, we anticipate that on May 23, 2016 the City Council will consider the site plan and Planning Commission recommendation. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,

A handwritten signature in cursive script that reads "C. Bradley Kaye". The signature is written in a dark ink and is positioned above the typed name and title.

C. Bradley Kaye, AICP
Assistant City Manager for Development Services

/grm

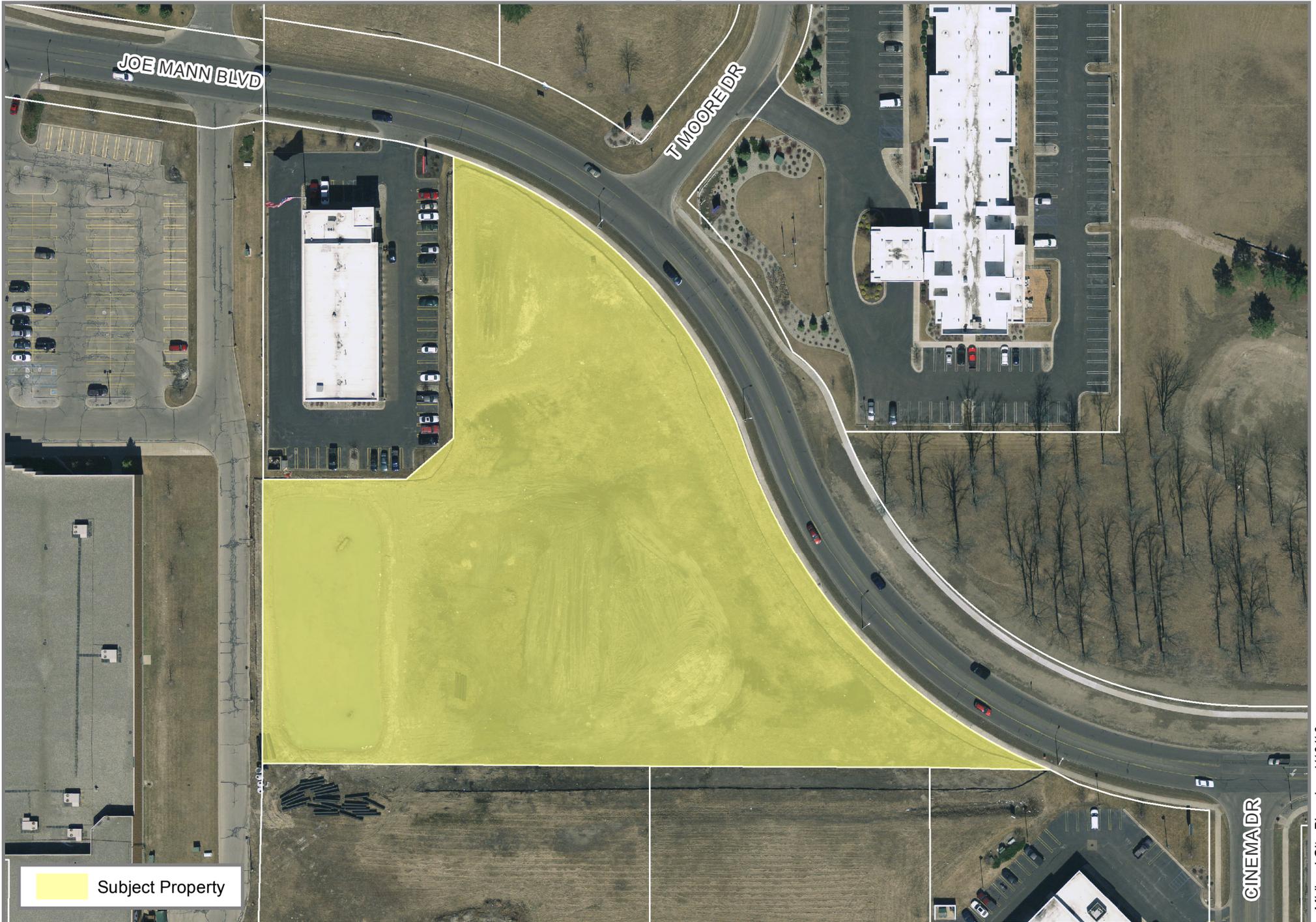
Site Plan #347 - Designhaus Architecture

> 801 Joe Mann Boulevard - Medical Office Building



Site Plan #347 - Designhaus Architecture

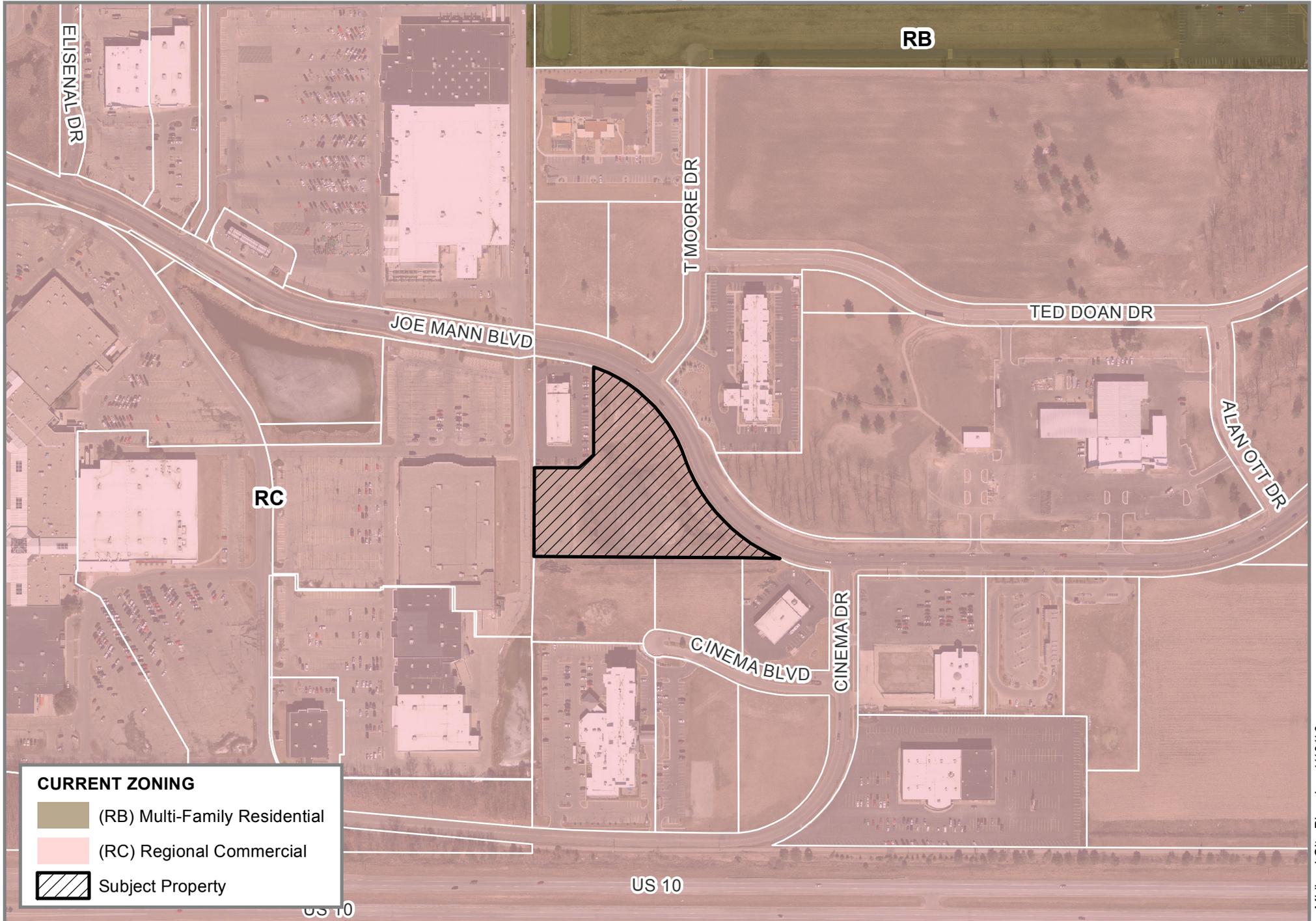
> 801 Joe Mann Boulevard - Medical Office Building



 Subject Property

Site Plan #347 - Designhaus Architecture

> 801 Joe Mann Boulevard - Medical Office Building



PROPOSED MEDICAL BUILDING

801 JOE MANN BLVD.

SECTION 33, TOWN 15 NORTH, RANGE 2 EAST
CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN

OWNER

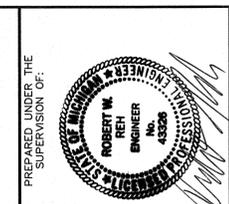
DLR DEVELOPMENT LLC
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623

CONTACT: Dave Dittenber
PHONE: (989) 906-4767
EMAIL: daviddittenber@gmail.com

CIVIL ENGINEER

D&M SITE, INC
401 BALSAM STREET
P.O. BOX 159
CARROLLTON, MI 48724

JOHN D MOREY
PHONE: (989) 752-6500
EMAIL: jmorey@dandmsite.com



FILE:	2015-167
PROJECT MGR:	JDM
DESIGNED BY:	RWR
DRAWN BY:	M.M.C.
CHECKED BY:	
SCALE:	
SHEET:	1 OF 9

DLR DEVELOPMENT LLC
DAVE DITTENBER
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623
(989) 906-4767

PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
SECTION 33, TOWN 15 NORTH
MIDLAND COUNTY, MICHIGAN
COVER SHEET

D&M SITE INC.
Surveying, Inspection, Testing, Engineering
401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
PHONE (989) 752-6500 • FAX (989) 752-6600

C1.0
2015.167

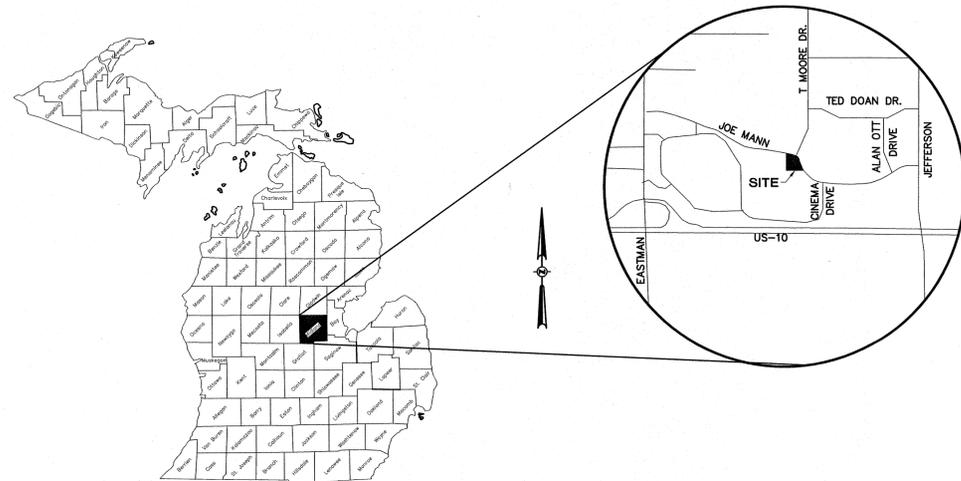
CAUTION - 10-28-04

NOT PUBLISHED, ALL RIGHTS RESERVED
D AND M SITE

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	PROPOSED MANHOLE/CATCHBASIN
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING VALVE
	PROPOSED VALVE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING LIGHT POLES
	PROPOSED LIGHT POLES
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONCRETE SURFACE
	EXISTING BIT SURFACE
	EXISTING FENCE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND CABLE T.V. LINE
	OVERHEAD ELECTRICAL WIRES
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING SIGN
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER
	PROPOSED FLOW ARROW
	PROPOSED CONTOURS
	PROPOSED MODIFIED CURB AND GUTTER
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FINISH SURFACE ELEVATION
	PROPOSED TOP OF WALK ELEVATION

BENCHMARKS	
B.M. #1 - TOP OF RIM ON MANHOLE AT THE SOUTHEAST CORNER OF JOE MANN BLVD. AND ACCESS DRIVE. CITY OF MIDLAND ELEV. 637.13	
B.M. #2 - TOP OF NUT ON HYDRANT LOCATED WEST OF T MOORE DRIVE NORTHEAST OF JOE MANN BLVD 208± CITY OF MIDLAND ELEV. 643.04	

FLOODPLAIN INFORMATION	
CITY OF MIDLAND MIDLAND COUNTY, MICHIGAN MAP NUMBER: 260140 0004D (PANEL NOT PRINTED)	



LOCATION MAP
NOT TO SCALE

DRAWING INDEX

- C1.0 COVER SHEET
- C2.0 TOPOGRAPHIC SURVEY
- C2.1 DEMOLITION PLAN
- C3.0 SITE PLAN
- C3.1 GRADING
- C3.2 UTILITY PLAN
- C3.3 SOIL EROSION SEDIMENTATION CONTROL PLAN
- C4.0 DETAIL SHEET
- C4.1 DETAIL SHEET

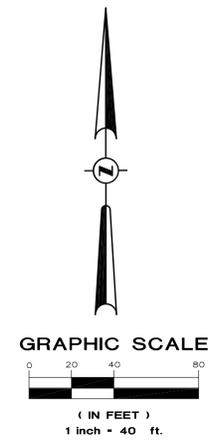
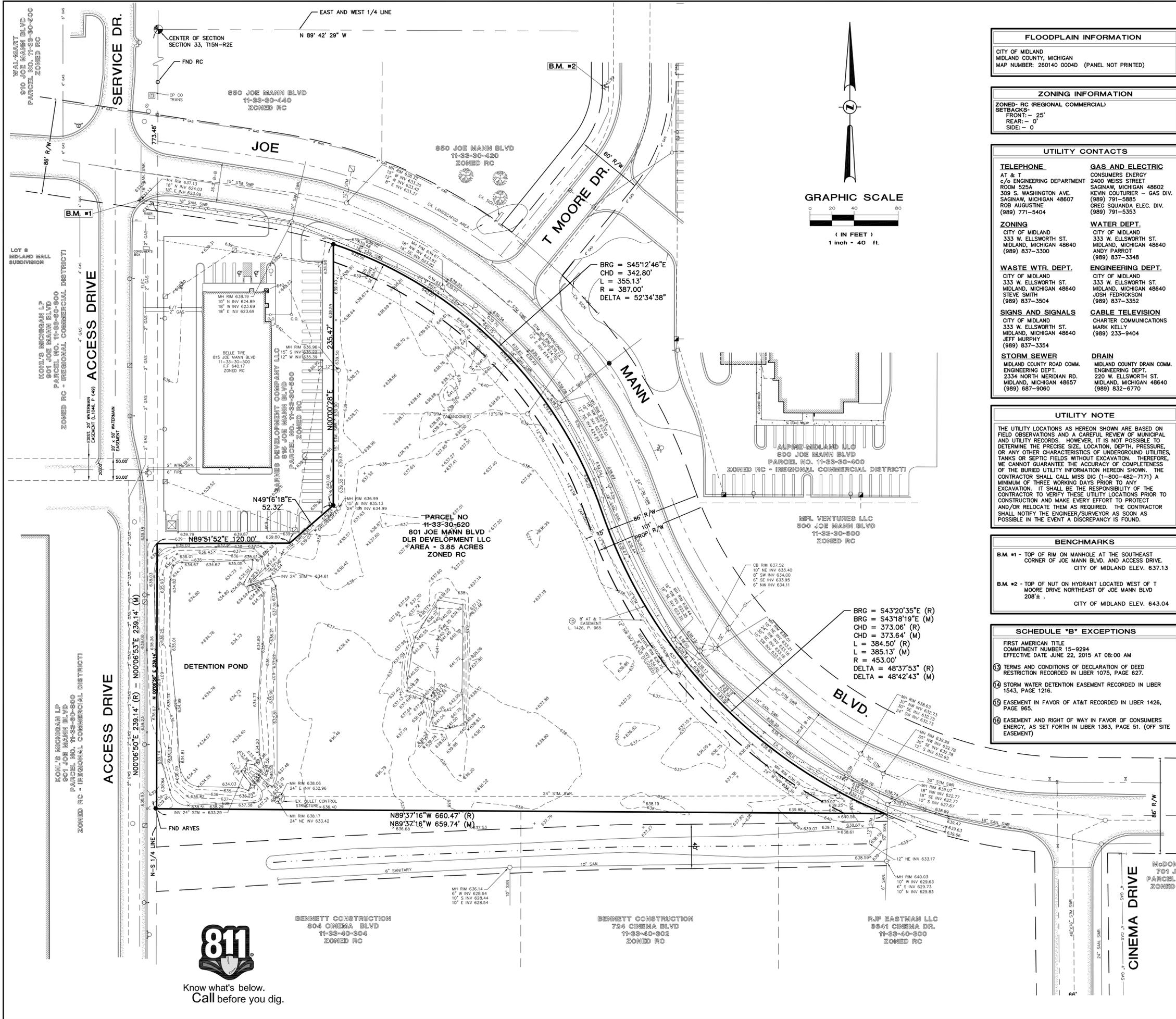
UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

ZONING INFORMATION	
ZONED - RC - (REGIONAL COMMERCIAL DISTRICT)	
REQUIRED:	PROVIDED:
LOT MINIMUM- AREA: - NONE	LOT MINIMUM- AREA: - 3.58 ACRES
WIDTH: - NONE	WIDTH: - 740.00'
MAX HEIGHT- FEET: - NONE	MAX HEIGHT- FEET: 3 STORY
SETBACKS- FRONT: - 25'	SETBACKS- FRONT: - 25'
REAR: - 0'	REAR: - 0'
SIDE: - 0'	SIDE: - 0'

UTILITY CONTACTS			
TELEPHONE	GAS AND ELECTRIC	WATER DEPT.	ENGINEERING DEPT.
AT & T C/O ENGINEERING DEPARTMENT ROOM 525A 308 S. WASHINGTON AVE. SAGINAW, MICHIGAN 48607 ROB AUGUSTINE (989) 771-5404	CONSUMERS ENERGY 2400 WEISS STREET SAGINAW, MICHIGAN 48602 KEVIN COUTURIER - GAS DIV. (989) 791-5885 GREG SQUANDA ELEC. DIV. (989) 791-5353	CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 ANDY PARROT (989) 837-3300	CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JOSH FEDRICKSON (989) 837-3348
ZONING	WASTE WTR. DEPT.	ENGINEERING DEPT.	CABLE TELEVISION
CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 STEVE SMITH (989) 837-3504	CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JOSH FEDRICKSON (989) 837-3352	CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JEFF MURPHY (989) 837-3354	CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 MARK KELLY (989) 233-8404
STORM SEWER	ENGINEERING DEPT.	ENGINEERING DEPT.	DRAIN
MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 2334 NORTH MERIDIAN RD. MIDLAND, MICHIGAN 48657 (989) 687-9060	MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 832-6770	MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 832-6770	MIDLAND COUNTY DRAIN COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 832-6770



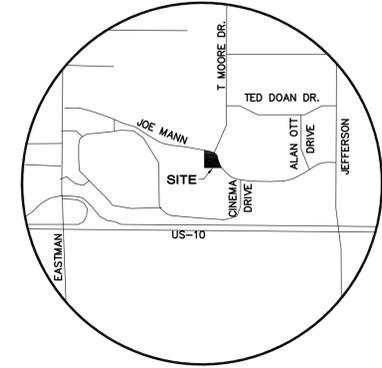


FLOODPLAIN INFORMATION
 CITY OF MIDLAND
 MIDLAND COUNTY, MICHIGAN
 MAP NUMBER: 260140 0004D (PANEL NOT PRINTED)

ZONING INFORMATION
 ZONED- RC (REGIONAL COMMERCIAL)
 SETBACKS-
 FRONT: - 25'
 REAR: - 0'
 SIDE: - 0'

UTILITY CONTACTS

TELEPHONE AT & T 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 837-3300	GAS AND ELECTRIC CONSUMERS ENERGY 2400 WEISS STREET SAGINAW, MICHIGAN 48602 KEVIN COUTURIER - GAS DIV. (989) 791-3885 GREG SQUANDA ELEC. DIV. (989) 791-5353
ZONING CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 837-3300	WATER DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 ANDY PARROT (989) 837-3348
WASTE WTR. DEPT. MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 2334 NORTH MERIDIAN RD. MIDLAND, MICHIGAN 48657 (989) 687-9060	ENGINEERING DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JOSH FEDRICKSON (989) 837-3352
SIGNS AND SIGNALS CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JEFF MURPHY (989) 837-3354	CABLE TELEVISION CHARTER COMMUNICATIONS MARK KELLY (989) 233-9404
STORM SEWER MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 2334 NORTH MERIDIAN RD. MIDLAND, MICHIGAN 48657 (989) 687-9060	DRAIN MIDLAND COUNTY DRAIN COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 832-6770



LOCATION MAP
NOT TO SCALE

LEGEND

	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING HYDRANT
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING FENCE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING CENTERLINE
	EXISTING OVERHEAD ELECTRICAL WIRES
	EXISTING MAILBOX / NEWSPAPER BOX
	EXISTING SIGN
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER

UTILITY NOTE
 THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

BENCHMARKS

B.M. #1 - TOP OF RIM ON MANHOLE AT THE SOUTHWEST CORNER OF JOE MANN BLVD. AND ACCESS DRIVE. CITY OF MIDLAND ELEV. 637.13

B.M. #2 - TOP OF NUT ON HYDRANT LOCATED WEST OF T MOORE DRIVE NORTHEAST OF JOE MANN BLVD 208'. CITY OF MIDLAND ELEV. 643.04

SCHEDULE "B" EXCEPTIONS

FIRST AMERICAN TITLE COMMITMENT NUMBER 15-9294 EFFECTIVE DATE JUNE 22, 2015 AT 08:00 AM

- TERMS AND CONDITIONS OF DECLARATION OF DEED RESTRICTION RECORDED IN LIBER 1075, PAGE 627.
- STORM WATER DETENTION EASEMENT RECORDED IN LIBER 1543, PAGE 1216.
- EASEMENT IN FAVOR OF AT&T RECORDED IN LIBER 1426, PAGE 965.
- EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 1363, PAGE 51. (OFF SITE EASEMENT)

LEGAL DESCRIPTION

FIRST AMERICAN TITLE COMMITMENT NUMBER 15-9294 EFFECTIVE DATE JUNE 22, 2015 AT 08:00 AM

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

CITY OF MIDLAND, COUNTY OF MIDLAND, STATE OF MICHIGAN COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, TOWNSHIP 15 NORTH, RANGE 2 EAST, THENCE NORTH 00 DEGREES 02 MINUTES 03 SECONDS WEST, 1318.61 FEET (RECORDED AS 1318.07 FEET) ALONG THE EAST LINE OF SAID SECTION 33; THENCE 89 DEGREES 37 MINUTES 16 SECONDS, WEST 1983.10 FEET (RECORDED AS 1982.52 FEET) ALONG THE SOUTH 1/8 LINE OF SAID SECTION 33 TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 37 MINUTES 16 SECONDS WEST, 659.74 FEET (RECORDED AS 660.47 FEET) ALONG THE SAID SOUTH 1/8 LINE; THENCE NORTH 00 DEGREES 06 MINUTES 53 SECONDS EAST (RECORDED AS NORTH 00 DEGREES 06 MINUTES 50 SECONDS EAST) 239.14 FEET ALONG THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 33; THENCE NORTH 89 DEGREES 51 MINUTES 52 SECONDS EAST, 120.00 FEET; THENCE NORTH 49 DEGREES 16 MINUTES 18 SECONDS EAST, 52.32 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 28 SECONDS EAST, 235.47 FEET; THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE OF JOE MANN BOULEVARD (60 FEET WIDE RIGHT OF WAY) THE FOLLOWING TWO COURSES: 355.13 FEET ALONG THE ARC OF A 387.00 FOOT RADIUS CURVE TO THE RIGHT, A DELTA ANGLE 52 DEGREES 34 MINUTES 38 SECONDS, CHORD BEARING SOUTH 45 DEGREES 12 MINUTES 49 SECONDS EAST, 342.80 FEET AND 385.13 FEET (RECORDED AS 384.50 FEET) ALONG THE ARC OF A 453.00 FOOT RADIUS CURVE TO THE LEFT, A DELTA ANGLE OF 48 DEGREES 42 MINUTES 43 SECONDS (RECORDED AS 48 DEGREES 37 MINUTES 53 SECONDS), CHORD BEARING SOUTH 43 DEGREES 18 MINUTES 19 SECONDS EAST, 373.64 FEET (RECORDED AS SOUTH 43 DEGREES 20 MINUTES 35 SECONDS EAST, 373.06 FEET) TO THE POINT OF BEGINNING. BEING A PART OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 33.



PREPARED UNDER THE SUPERVISION OF:

PROJECT LOG

FILE: 2015-107-SHEETS	STARTING COMMISSION SUBMITTAL: 7/23/16	PLANNING COMMISSION RESUBMITTAL: 7/27/16
PROJECT MGR: JDM	DESIGNED BY: RWR	M.M.D.
	DRAWN BY: M.M.D.	CHECKED BY:
		SCALE: H: 1"=40'
		SHEET: 2 OF 9

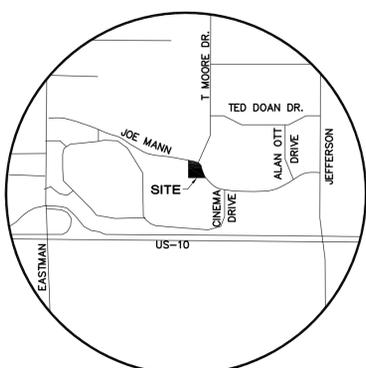
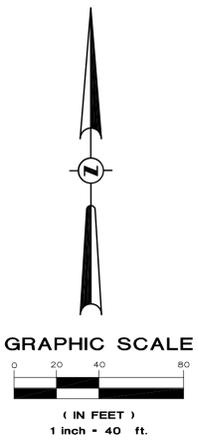
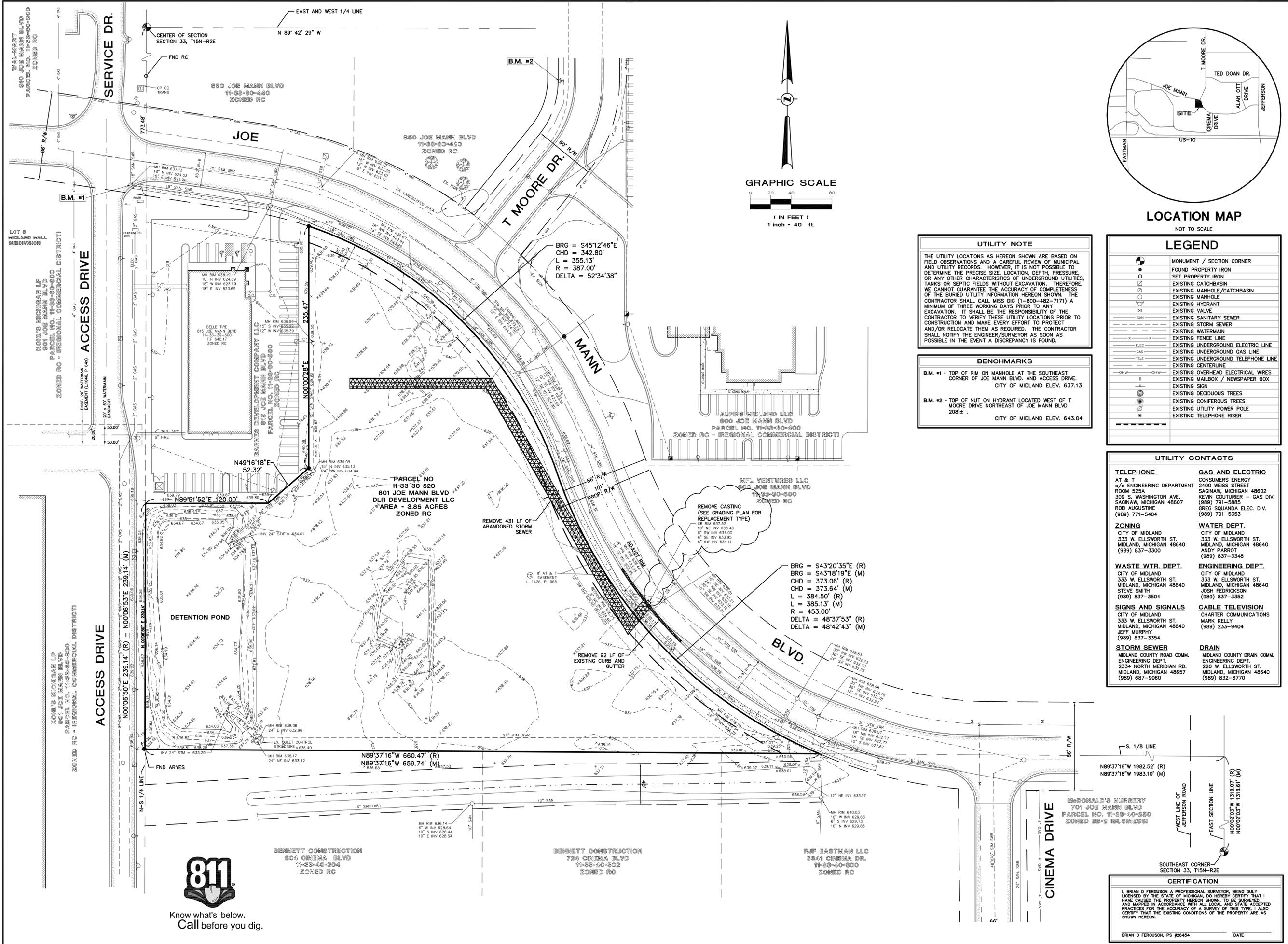
DLR DEVELOPMENT LLC
DAVE DITTEMBER
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623
(989) 906-4767

PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
SECTION 33, T15N-R2E
CITY OF MIDLAND
MIDLAND COUNTY, MICHIGAN

TOPOGRAPHIC SURVEY

D&M SITE INC.
Surveying, Inspection, Testing, Engineering
401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
Phone: (989) 752-6860-174K (989) 752-6660

C2.0
2015.167



UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

BENCHMARKS

B.M. #1 - TOP OF RIM ON MANHOLE AT THE SOUTHEAST CORNER OF JOE MANN BLVD. AND ACCESS DRIVE. CITY OF MIDLAND ELEV. 637.13

B.M. #2 - TOP OF NUT ON HYDRANT LOCATED WEST OF T MOORE DRIVE NORTHEAST OF JOE MANN BLVD 208±. CITY OF MIDLAND ELEV. 643.04

LEGEND

	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING MANHOLE
	EXISTING HYDRANT
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING FENCE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING CENTERLINE
	EXISTING OVERHEAD ELECTRICAL WIRES
	EXISTING MAILBOX / NEWSPAPER BOX
	EXISTING SIGN
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER

UTILITY CONTACTS

TELEPHONE AT & T C/O ENGINEERING DEPARTMENT ROOM 525A 309 S. WASHINGTON AVE. SAGINAW, MICHIGAN 48607 ROB AUGUSTINE (989) 771-5404	GAS AND ELECTRIC CONSUMERS ENERGY 2400 WEISS STREET SAGINAW, MICHIGAN 48602 KEVIN COUTURIER - GAS DIV. (989) 791-5885 GREG SQUANDA ELEC. DIV. (989) 791-5353
ZONING CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 ANDY PARROT (989) 837-3300	WATER DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 ANDY PARROT (989) 837-3348
WASTE WTR. DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 STEVE SMITH (989) 837-3504	ENGINEERING DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JOSH FREDRICKSON (989) 837-3352
SIGNS AND SIGNALS CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JEFF MURPHY (989) 837-3354	CABLE TELEVISION CHARTER COMMUNICATIONS MARK KELLY (989) 233-9404
STORM SEWER MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 2334 NORTH MERIDIAN RD. MIDLAND, MICHIGAN 48657 (989) 687-9060	DRAIN MIDLAND COUNTY DRAIN COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 632-6770

CERTIFICATION

I, BRIAN D FERGUSON A PROFESSIONAL SURVEYOR, BEING DULY LICENSED BY THE STATE OF MICHIGAN, DO HEREBY CERTIFY THAT I HAVE CAUSED THE PROPERTY HEREON SHOWN TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.

BRIAN D FERGUSON, PS #26454 DATE _____

PROJECT LOG

FILE: 2015-107-SHEETS	STARTING COMMISSION SUBMITTAL 2/25/16
PROJECT MGR: JDM	PLANNING COMMISSION SUBMITTAL 4/23/16
DESIGNED BY: RWR	PLANNING COMMISSION RESUBMITTAL 7/23/16
DRAWN BY: M.M.D.	
CHECKED BY:	
SCALE: H: 1"=40'	
SHEET: 3 OF 9	

DLR DEVELOPMENT LLC
DAVE DITTEMBER
 7340 MIDLAND ROAD
 FREELAND, MICHIGAN 48623
 (989) 906-4767

PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
 SECTION 33, T15N-R2E
 CITY OF MIDLAND
 MIDLAND COUNTY, MICHIGAN

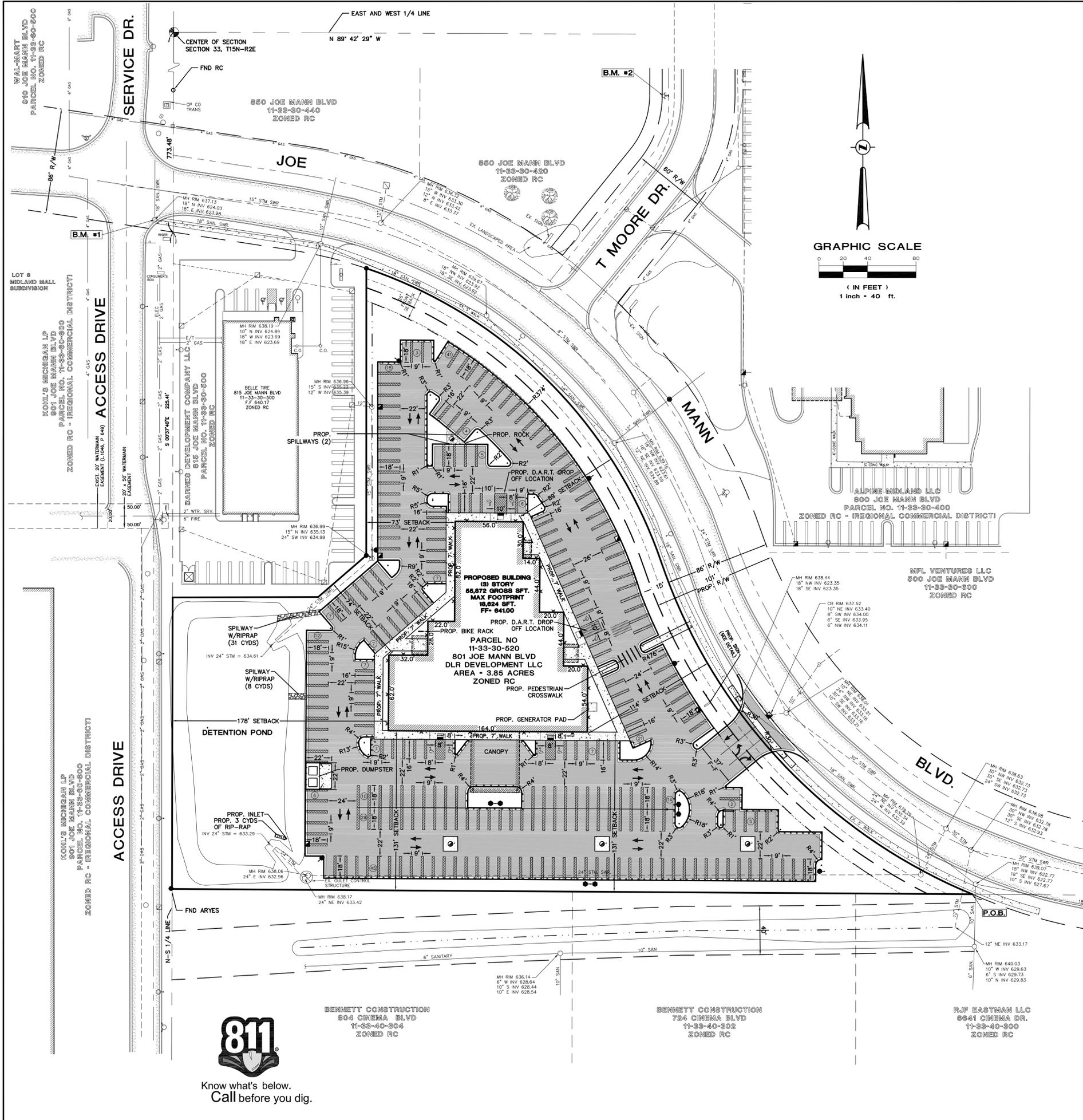
DEMOLITION PLAN

D&M SITE INC.
 Surveying • Inspection • Testing • Engineering

401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
 Phone: (989) 752-6860-474x (989) 752-6860

C2.1
 2015.167





PARKING	
LAND USE	REQUIREMENT
BUSINESS OFFICE	ONE (1) SPACE PER 300 SFT. USABLE FLOOR AREA.
MEDICAL OFFICE	ONE (1) SPACE PER 150 SFT. USABLE FLOOR AREA.

NOTE: TOTAL USABLE SFT. = 80% OF TOTAL GROSS SFT.

BUSINESS OFFICE REQUIRED: 13,968 GROSS SFT. (1 PARKING SPACE PER 300 SFT.) @ 80% = 11,175 SFT. / 300 = 38 SPACES

MEDICAL OFFICE REQUIRED: 41,904 GROSS SFT. (1 PARKING SPACE PER 150 SFT.) @ 80% = 33,523 SFT. / 150 = 224 SPACES

REQUIRED NUMBER OF PARKING SPACES: 262 PARKING SPACES, (INCLUDING 8 HANDICAP ACCESSIBLE SPACES)

PROVIDED NUMBER OF PARKING SPACES: 263 PARKING SPACES, (INCLUDING 8 HANDICAP ACCESSIBLE SPACES)

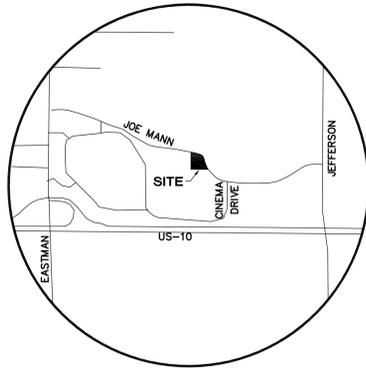
ZONING INFORMATION	
ZONED - RC - (REGIONAL COMMERCIAL DISTRICT)	
REQUIRED:	PROVIDED:
LOT MINIMUM AREA - NONE	LOT MINIMUM AREA - 3.58 ACRES
WIDTH - NONE	WIDTH - 740.00'
MAX HEIGHT - FEET - NONE	MAX HEIGHT - FEET: 3 STORY
SETBACKS - FRONT - 25'	SETBACKS - FRONT - 25'
REAR - 0'	REAR - 0'
SIDE - 0'	SIDE - 0'

LEGAL DESCRIPTION

FIRST AMERICAN TITLE COMMITMENT NUMBER 15-9294 EFFECTIVE DATE JUNE 22, 2015 AT 08:00 AM

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

CITY OF MIDLAND, COUNTY OF MIDLAND, STATE OF MICHIGAN COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, TOWN 15 NORTH, RANGE 2 EAST; THENCE NORTH 00 DEGREES 02 MINUTES 03 SECONDS WEST, 1318.61 FEET (RECORDED AS 1318.07 FEET) ALONG THE EAST LINE OF SAID SECTION 33; THENCE 89 DEGREES 37 MINUTES 16 SECONDS, WEST 1983.10 FEET (RECORDED AS 1982.52 FEET) ALONG THE SOUTH 1/8 LINE OF SAID SECTION 33 TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 37 MINUTES 16 SECONDS WEST, 659.74 FEET (RECORDED AS 660.47 FEET) ALONG THE SAID SOUTH 1/8 LINE; THENCE NORTH 00 DEGREES 06 MINUTES 53 SECONDS EAST (RECORDED AS NORTH 00 DEGREES 06 MINUTES 50 SECONDS EAST) 239.14 FEET ALONG THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 33; THENCE NORTH 89 DEGREES 51 MINUTES 52 SECONDS EAST, 120.00 FEET; THENCE NORTH 49 DEGREES 16 MINUTES 18 SECONDS EAST, 52.32 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 28 SECONDS EAST, 235.47 FEET; THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE OF JOE MANN BOULEVARD (60 FEET WIDE RIGHT OF WAY) THE FOLLOWING TWO COURSES: 355.13 FEET ALONG THE ARC OF A 387.00 FOOT RADIUS CURVE TO THE RIGHT, A DELTA ANGLE 52 DEGREES 34 MINUTES 38 SECONDS, CHORD BEARING SOUTH 45 DEGREES 12 MINUTES 49 SECONDS EAST, 342.80 FEET AND 385.13 FEET (RECORDED AS 384.50 FEET) ALONG THE ARC OF A 453.00 FOOT RADIUS CURVE TO THE LEFT, A DELTA ANGLE OF 48 DEGREES 42 MINUTES 43 SECONDS (RECORDED AS 48 DEGREES 37 MINUTES 53 SECONDS), CHORD BEARING SOUTH 43 DEGREES 18 MINUTES 19 SECONDS EAST, 373.64 FEET (RECORDED AS SOUTH 43 DEGREES 20 MINUTES 35 SECONDS EAST, 373.06 FEET) TO THE POINT OF BEGINNING, BEING A PART OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 33.



LOCATION MAP
NOT TO SCALE

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	PROPOSED MANHOLE/CATCHBASIN
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING VALVE
	PROPOSED VALVE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING LIGHT POLES
	PROPOSED LIGHT POLES
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONCRETE SURFACE
	EXISTING BIT SURFACE
	EXISTING FENCE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND CABLE T.V. LINE
	OVERHEAD ELECTRICAL WIRES
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING SIGN
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER
	PROPOSED FLOW ARROW
	PROPOSED CONTOURS
	PROPOSED MODIFIED CURB AND GUTTER
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FINISH SURFACE ELEVATION
	PROPOSED TOP OF WALK ELEVATION

BENCHMARKS	
B.M. #1 - TOP OF RIM ON MANHOLE AT THE SOUTHEAST CORNER OF JOE MANN BLVD. AND ACCESS DRIVE, CITY OF MIDLAND ELEV. 637.13	
B.M. #2 - TOP OF NUT ON HYDRANT LOCATED WEST OF T MOORE DRIVE NORTHEAST OF JOE MANN BLVD 208' ±. CITY OF MIDLAND ELEV. 643.04	

PREPARED UNDER THE SUPERVISION OF:

PROJECT LOG

STARTING COMMISSION SUBMITTAL	2/25/16
PLANNING COMMISSION RESUBMITTAL	4/23/16
	7/27/16

FILE: 2015-107-SHEETS

DESIGNED BY: RWR
DRAWN BY: M.M.D.
CHECKED BY:
SCALE: H: 1"=40'
SHEET: 4 OF 9

**DLR DEVELOPMENT LLC
DAVE DITTENBER**
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623
(889) 906-4767

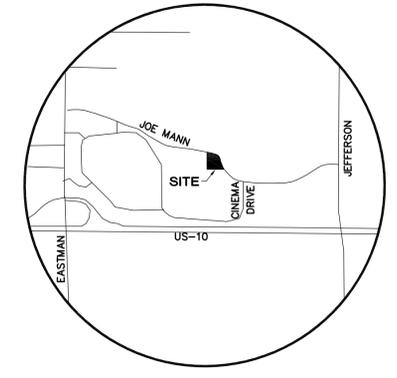
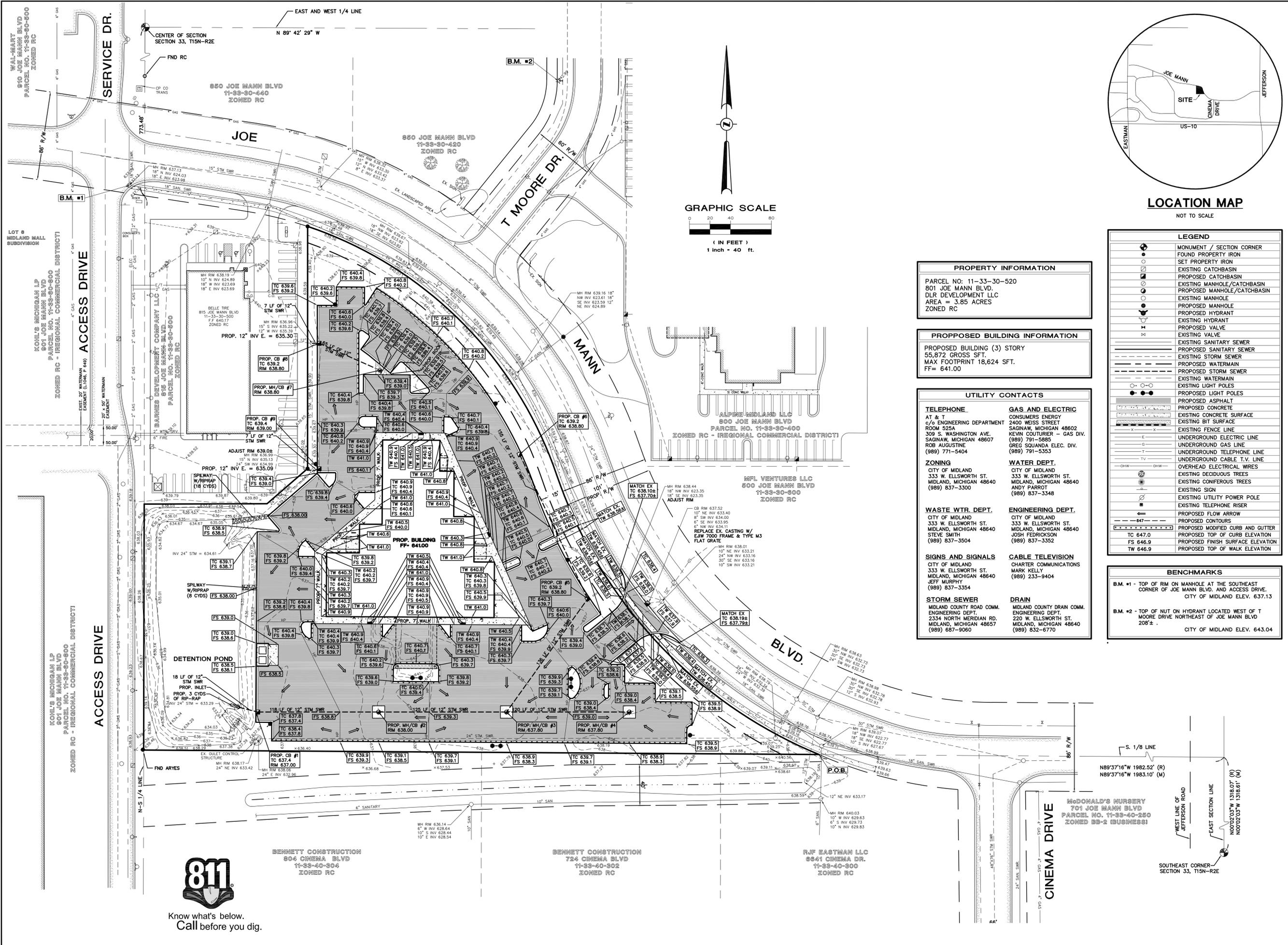
**PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD**
SECTION 33, T15N-R2E
CITY OF MIDLAND
MIDLAND COUNTY, MICHIGAN

D&M SITE INC.
Surveying • Inspection • Testing • Engineering
401 BALSAM STREET, PO BOX 159, CARROLLTON, MICHIGAN 48724
Phone: (889) 752-0880 • Fax: (889) 752-8880

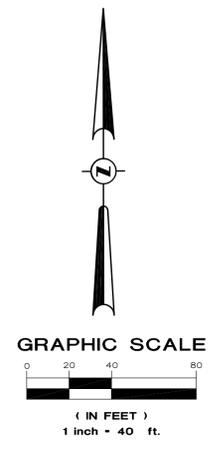
C3.0
2015.167

SITE PLAN





LOCATION MAP
NOT TO SCALE



PROPERTY INFORMATION

PARCEL NO: 11-33-30-520
 801 JOE MANN BLVD.
 DLR DEVELOPMENT LLC
 AREA = 3.85 ACRES
 ZONED RC

PROPOSED BUILDING INFORMATION

PROPOSED BUILDING (3) STORY
 55,872 GROSS SFT.
 MAX FOOTPRINT 18,624 SFT.
 FF = 641.00

UTILITY CONTACTS

TELEPHONE
 AT & T
 C/O ENGINEERING DEPARTMENT
 ROOM 525A
 309 S. WASHINGTON AVE.
 SAGINAW, MICHIGAN 48607
 ROB AUGUSTINE
 (989) 771-5404

GAS AND ELECTRIC
 CONSUMERS ENERGY
 2400 WEISS STREET
 SAGINAW, MICHIGAN 48602
 KEVIN COUTURIER - GAS DIV.
 (989) 791-5885
 GREG SQUANDA ELEC. DIV.
 (989) 791-5353

WATER DEPT.
 CITY OF MIDLAND
 333 W. ELLSWORTH ST.
 MIDLAND, MICHIGAN 48640
 ANDY PARROT
 (989) 837-3348

ENGINEERING DEPT.
 CITY OF MIDLAND
 333 W. ELLSWORTH ST.
 MIDLAND, MICHIGAN 48640
 JOSH FEDRICKSON
 (989) 837-3352

WASTE WTR. DEPT.
 CITY OF MIDLAND
 333 W. ELLSWORTH ST.
 MIDLAND, MICHIGAN 48640
 STEVE SMITH
 (989) 837-3504

ENGINEERING DEPT.
 CHARTER COMMUNICATIONS
 MARK KELLY
 (989) 233-9404

SIGNS AND SIGNALS
 CITY OF MIDLAND
 333 W. ELLSWORTH ST.
 MIDLAND, MICHIGAN 48640
 JEFF MURPHY
 (989) 837-3354

CABLE TELEVISION
 MIDLAND COUNTY ROAD COMM.
 ENGINEERING DEPT.
 2334 NORTH MERIDIAN RD.
 MIDLAND, MICHIGAN 48657
 (989) 687-9060

STORM SEWER
 MIDLAND COUNTY ROAD COMM.
 ENGINEERING DEPT.
 2334 NORTH MERIDIAN RD.
 MIDLAND, MICHIGAN 48657
 (989) 687-9060

DRAIN
 MIDLAND COUNTY DRAIN COMM.
 ENGINEERING DEPT.
 220 W. ELLSWORTH ST.
 MIDLAND, MICHIGAN 48640
 (989) 832-6770

LEGEND

○	MONUMENT / SECTION CORNER
○	FOUND PROPERTY IRON
○	SET PROPERTY IRON
○	EXISTING CATCHBASIN
○	PROPOSED CATCHBASIN
○	EXISTING MANHOLE/CATCHBASIN
○	PROPOSED MANHOLE/CATCHBASIN
○	EXISTING MANHOLE
○	PROPOSED MANHOLE
○	EXISTING HYDRANT
○	PROPOSED HYDRANT
○	EXISTING VALVE
○	PROPOSED VALVE
○	EXISTING SANITARY SEWER
○	PROPOSED SANITARY SEWER
○	EXISTING STORM SEWER
○	PROPOSED STORM SEWER
○	EXISTING WATERMAIN
○	PROPOSED WATERMAIN
○	EXISTING LIGHT POLES
○	PROPOSED LIGHT POLES
○	PROPOSED ASPHALT
○	PROPOSED CONCRETE
○	EXISTING CONCRETE SURFACE
○	EXISTING BIT SURFACE
○	EXISTING FENCE LINE
○	UNDERGROUND ELECTRIC LINE
○	UNDERGROUND GAS LINE
○	UNDERGROUND TELEPHONE LINE
○	UNDERGROUND CABLE T.V. LINE
○	OVERHEAD ELECTRICAL WIRES
○	EXISTING DECIDUOUS TREES
○	EXISTING CONIFEROUS TREES
○	EXISTING SIGN
○	EXISTING UTILITY POWER POLE
○	EXISTING TELEPHONE RISER
○	PROPOSED FLOW ARROW
○	PROPOSED CONTOURS
○	PROPOSED MODIFIED CURB AND GUTTER
○	PROPOSED TOP OF CURB ELEVATION
○	PROPOSED FINISH SURFACE ELEVATION
○	PROPOSED TOP OF WALK ELEVATION

BENCHMARKS

B.M. #1 - TOP OF RIM ON MANHOLE AT THE SOUTHEAST CORNER OF JOE MANN BLVD. AND ACCESS DRIVE. CITY OF MIDLAND ELEV. 637.13

B.M. #2 - TOP OF NUT ON HYDRANT LOCATED WEST OF T MOORE DRIVE NORTHEAST OF JOE MANN BLVD 208'±. CITY OF MIDLAND ELEV. 643.04

PREPARED UNDER THE SUPERVISION OF:

FILE: 2015-107-SHEETS	STARTING COMMISSION SUBMITTAL: 2/25/16
PROJECT MGR: JDM	PLANNING COMMISSION RESUBMITTAL: 4/23/16
DESIGNED BY: RWR	
DRAWN BY: M.M.D.	
CHECKED BY:	
SCALE: H: 1"=40'	
SHEET: 5 OF 9	

DLR DEVELOPMENT LLC
DAVE DITENER
 7340 MIDLAND ROAD
 FREELAND, MICHIGAN 48623
 (889) 906-4767

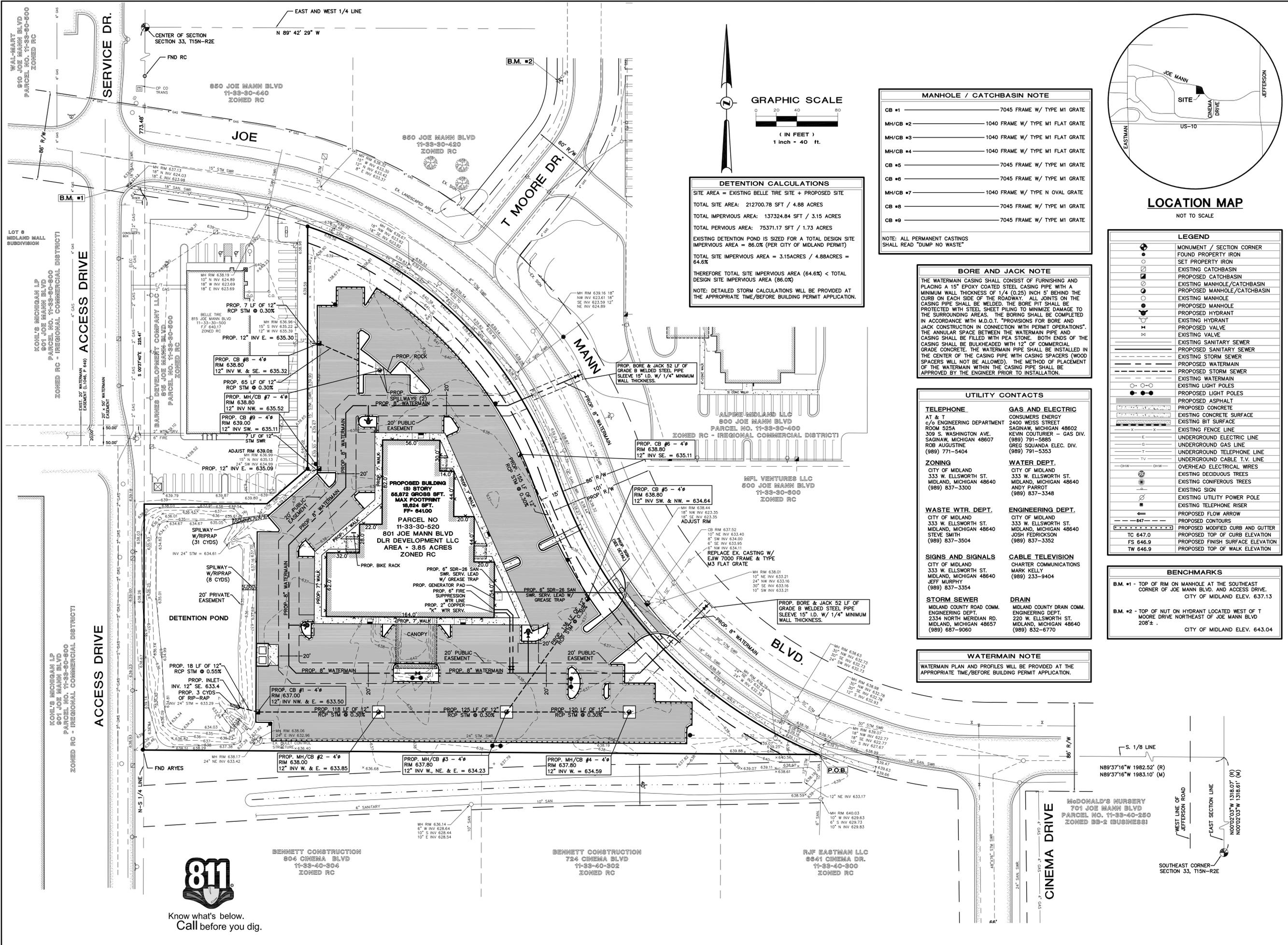
PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
 SECTION 33, T15N-R2E
 CITY OF MIDLAND
 MIDLAND COUNTY, MICHIGAN

GRADING PLAN

D&M SITE INC.
 Surveying, Inspection, Testing, Engineering
 401 BALSAM STREET, PO BOX 159, CARROLLTON, MICHIGAN 48724
 Phone: (889) 752-0880 FAX: (889) 752-8660

C3.1
 2015.167





DETECTION CALCULATIONS
 SITE AREA = EXISTING BELLE TIRE SITE + PROPOSED SITE
 TOTAL SITE AREA: 212700.78 SFT / 4.88 ACRES
 TOTAL IMPERVIOUS AREA: 137324.84 SFT / 3.15 ACRES
 TOTAL PERVIOUS AREA: 75371.17 SFT / 1.73 ACRES
 EXISTING DETENTION POND IS SIZED FOR A TOTAL DESIGN SITE IMPERVIOUS AREA = 86.0% (PER CITY OF MIDLAND PERMIT)
 TOTAL SITE IMPERVIOUS AREA = 3.15ACRES / 4.88ACRES = 64.6%
 THEREFORE TOTAL SITE IMPERVIOUS AREA (64.6%) < TOTAL DESIGN SITE IMPERVIOUS AREA (86.0%)
 NOTE: DETAILED STORM CALCULATIONS WILL BE PROVIDED AT THE APPROPRIATE TIME/BEFORE BUILDING PERMIT APPLICATION.

MANHOLE / CATCHBASIN NOTE

CB #1	7045 FRAME W/ TYPE M1 GRATE
MH/CB #2	1040 FRAME W/ TYPE M1 FLAT GRATE
MH/CB #3	1040 FRAME W/ TYPE M1 FLAT GRATE
MH/CB #4	1040 FRAME W/ TYPE M1 FLAT GRATE
CB #5	7045 FRAME W/ TYPE M1 GRATE
CB #6	7045 FRAME W/ TYPE M1 GRATE
MH/CB #7	1040 FRAME W/ TYPE N OVAL GRATE
CB #8	7045 FRAME W/ TYPE M1 GRATE
CB #9	7045 FRAME W/ TYPE M1 GRATE

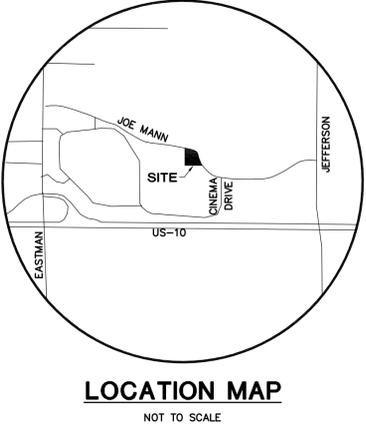
NOTE: ALL PERMANENT CASTINGS SHALL READ "DUMP NO WASTE"

BORE AND JACK NOTE
 THE WATERMAIN CASING SHALL CONSIST OF FURNISHING AND PLACING A 15" EPOXY COATED STEEL CASING PIPE WITH A MINIMUM WALL THICKNESS OF 1/4" (0.25) INCH 5" BEHIND THE CURB ON EACH SIDE OF THE ROADWAY. ALL JOINTS ON THE CASING PIPE SHALL BE WELDED. THE BORE PIT SHALL BE PROTECTED WITH STEEL SHEET PILING TO MINIMIZE DAMAGE TO THE SURROUNDING AREAS. THE BORING SHALL BE COMPLETED IN ACCORDANCE WITH M.D.O.T. "PROVISIONS FOR BORE AND JACK CONSTRUCTION IN CONNECTION WITH PERMIT OPERATIONS". THE ANNULAR SPACE BETWEEN THE WATERMAIN PIPE AND CASING SHALL BE FILLED WITH PEA STONE. BOTH ENDS OF THE CASING SHALL BE BULKHEADED WITH 12" OF COMMERCIAL GRADE CONCRETE. THE WATERMAIN PIPE SHALL BE INSTALLED IN THE CENTER OF THE CASING PIPE WITH CASING SPACERS (WOOD SPACERS WILL NOT BE ALLOWED). THE METHOD OF PLACEMENT OF THE WATERMAIN WITHIN THE CASING PIPE SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

UTILITY CONTACTS

TELEPHONE AT & T C/O ENGINEERING DEPARTMENT ROOM 525A 309 S. WASHINGTON AVE. SAGINAW, MICHIGAN 48607 ROB AUGUSTINE (989) 771-5404	GAS AND ELECTRIC CONSUMERS ENERGY 2400 WEISS STREET SAGINAW, MICHIGAN 48602 KEVIN COUTURIER - GAS DIV. (989) 791-5885 GREG SQUANDA ELEC. DIV. (989) 791-5353
ZONING CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 837-3300	WATER DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 ANDY PARROT (989) 837-3348
WASTE WTR. DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 STEVE SMITH (989) 837-3504	ENGINEERING DEPT. CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JOSH FEDRICKSON (989) 837-3352
SIGNS AND SIGNALS CITY OF MIDLAND 333 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 JEFF MURPHY (989) 837-3354	CABLE TELEVISION CHARTER COMMUNICATIONS MARK KELLY (989) 233-9404
STORM SEWER MIDLAND COUNTY ROAD COMM. ENGINEERING DEPT. 2334 NORTH MERIDIAN RD. MIDLAND, MICHIGAN 48657 (989) 687-9060	DRAIN MIDLAND COUNTY DRAIN COMM. ENGINEERING DEPT. 220 W. ELLSWORTH ST. MIDLAND, MICHIGAN 48640 (989) 832-6770

WATERMAIN NOTE
 WATERMAIN PLAN AND PROFILES WILL BE PROVIDED AT THE APPROPRIATE TIME/BEFORE BUILDING PERMIT APPLICATION.



LEGEND

Symbol	MONUMENT / SECTION CORNER
Symbol	FOUND PROPERTY IRON
Symbol	SET PROPERTY IRON
Symbol	EXISTING CATCHBASIN
Symbol	PROPOSED CATCHBASIN
Symbol	EXISTING MANHOLE/CATCHBASIN
Symbol	PROPOSED MANHOLE/CATCHBASIN
Symbol	EXISTING MANHOLE
Symbol	PROPOSED MANHOLE
Symbol	EXISTING HYDRANT
Symbol	PROPOSED HYDRANT
Symbol	EXISTING VALVE
Symbol	PROPOSED VALVE
Symbol	EXISTING SANITARY SEWER
Symbol	PROPOSED SANITARY SEWER
Symbol	EXISTING STORM SEWER
Symbol	PROPOSED STORM SEWER
Symbol	EXISTING WATERMAIN
Symbol	PROPOSED WATERMAIN
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Symbol	EXISTING UTILITY POWER POLE
Symbol	EXISTING TELEPHONE RISER
Symbol	PROPOSED FLOW ARROW
Symbol	PROPOSED CONTOURS
Symbol	PROPOSED MODIFIED CURB AND GUTTER
Symbol	TC 647.0
Symbol	FS 646.9
Symbol	TW 646.9
Symbol	PROPOSED TOP OF WALK ELEVATION

BENCHMARKS

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PREPARED UNDER THE SUPERVISION OF:

FILE: 2015-107-SHEETS	PROJECT LOG
STARTING COMMISSION SUBMITAL	2/25/16
PLANNING COMMISSION RESUBMITAL	4/23/16
DESIGNED BY: JDM	PROJECT MGR: JDM
DRAWN BY: RWR	DATE: 1/22/16
M.M.D.	
CHECKED BY:	
SCALE: H: 1"=40'	
SHEET: 6 OF 9	

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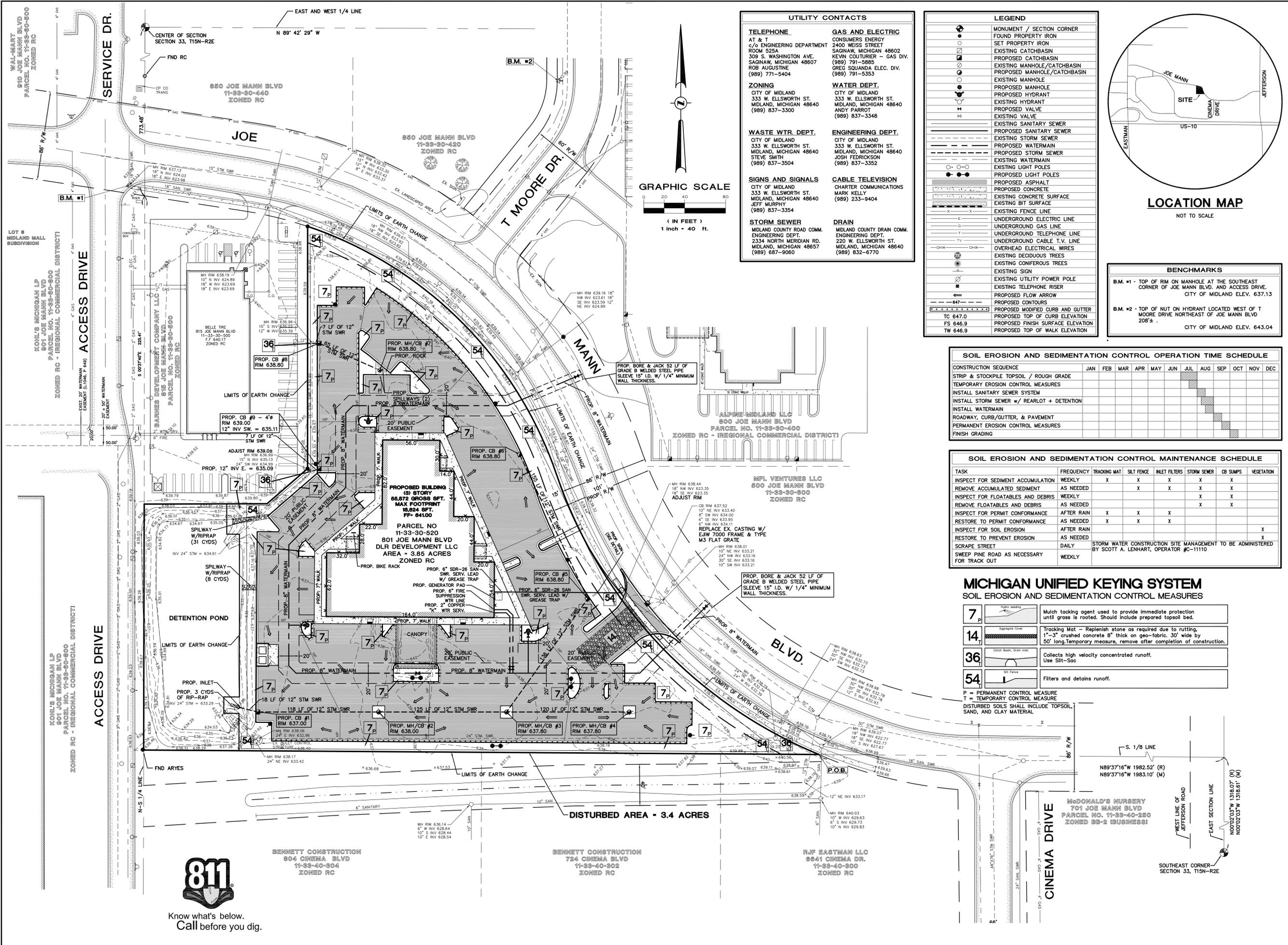
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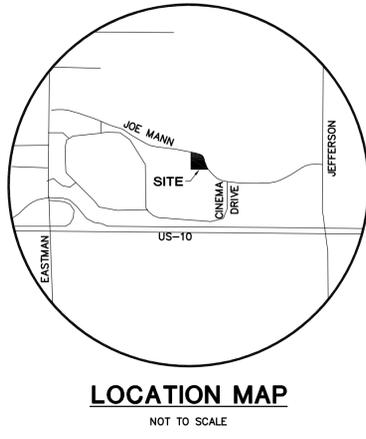


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LEGEND

	MONUMENT / SECTION CORNER
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SOIL EROSION AND SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

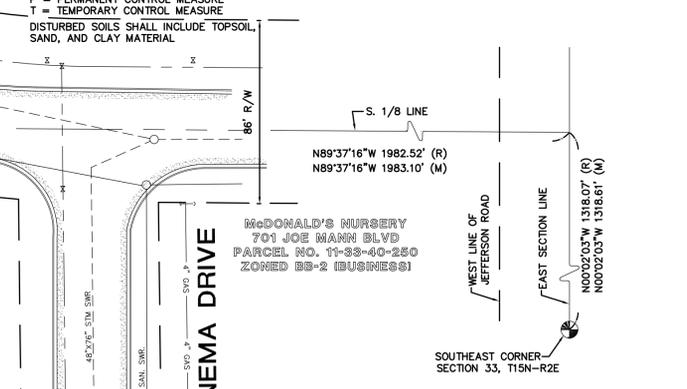
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STRIP & STOCKPILE TOPSOIL / ROUGH GRADE												
TEMPORARY EROSION CONTROL MEASURES												
INSTALL SANITARY SEWER SYSTEM												
INSTALL STORM SEWER w/ REARLOT + DETENTION												
INSTALL WATERMAIN												
ROADWAY, CURB/GUTTER, & PAVEMENT												
PERMANENT EROSION CONTROL MEASURES												
FINISH GRADING												

SOIL EROSION AND SEDIMENTATION CONTROL MAINTENANCE SCHEDULE

TASK	FREQUENCY	TRACKING MAT	SILT FENCE	INLET FILTERS	STORM SEWER	CB SUMPS	VEGETATION
INSPECT FOR SEDIMENT ACCUMULATION	WEEKLY	X	X	X	X	X	X
REMOVE ACCUMULATED SEDIMENT	AS NEEDED		X	X	X	X	X
INSPECT FOR FLOATABLES AND DEBRIS	WEEKLY				X	X	X
REMOVE FLOATABLES AND DEBRIS	AS NEEDED				X	X	X
INSPECT FOR PERMIT CONFORMANCE	AFTER RAIN	X	X	X	X	X	X
RESTORE TO PERMIT CONFORMANCE	AS NEEDED						X
INSPECT FOR SOIL EROSION	AFTER RAIN						X
RESTORE TO PREVENT EROSION	AS NEEDED						X
SCRAPE STREET	DAILY						
SWEEP PINE ROAD AS NECESSARY FOR TRACK OUT	WEEKLY						

MICHIGAN UNIFIED KEYING SYSTEM
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

7 P	Mulch tacking agent used to provide immediate protection until grass is rooted. Should include prepared topsoil bed.
14 P	Tracking Mat - Replenish stone as required due to rutting, 1"-3" crushed concrete 8" thick on geo-fabric. 30' wide by 50' long. Temporary measure, remove after completion of construction.
36 P	Catch Basin, Drain Inlet Collects high velocity concentrated runoff. Use Silt-Soc.
54 P	Silt Fence Filters and detains runoff.



PROJECT LOG

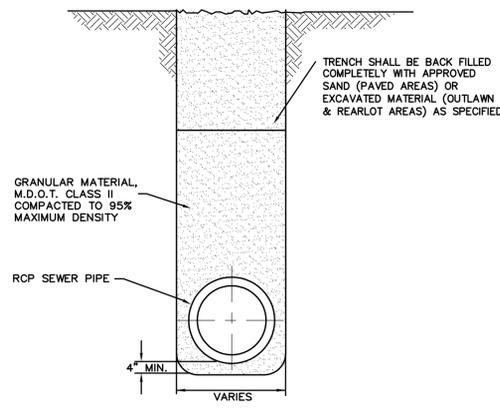
FILE: 2015-107-SHEETS	STARTING COMMISSION SUBMITTAL	2/25/16
PROJECT MGR: JDM	PLANNING COMMISSION RESUBMITTAL	4/23/16
DESIGNED BY: RWR		
DRAWN BY: M.M.D.		
CHECKED BY:		
SCALE: H: 1"=40'		
SHEET: 7		
		9

DLR DEVELOPMENT LLC
DAVE DITTEMBER
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623
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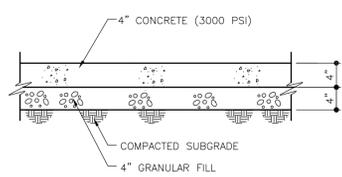
PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
SECTION 33, T15N-R2E
CITY OF MIDLAND
MIDLAND COUNTY, MICHIGAN

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Surveying, Inspection, Testing, Engineering
401 BALSAM STREET, PO BOX 159, CARROLLTON, MICHIGAN 48724
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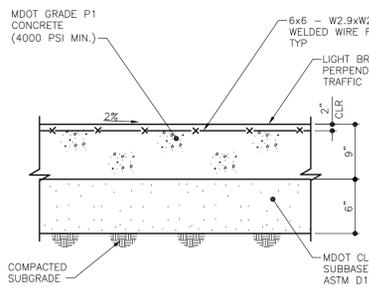




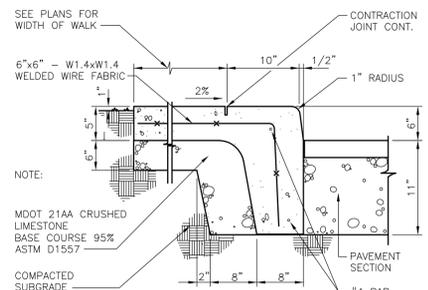
RCP TRENCH DETAIL
NO SCALE



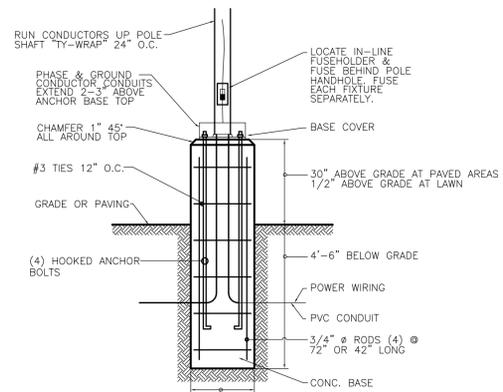
CONCRETE WALK
NO SCALE



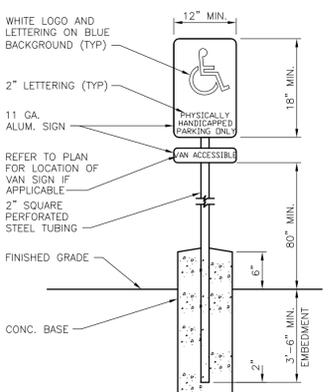
CONCRETE DUMPSTER PAD
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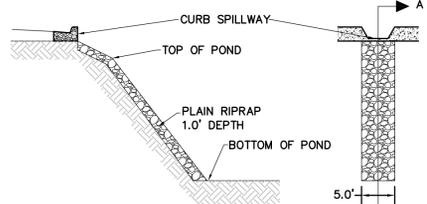
CONCRETE CURB WALK
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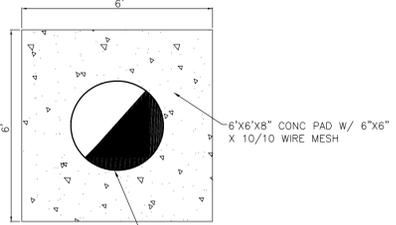
ANCHOR BASE DETAIL FOR LIGHT POLES
NOT TO SCALE



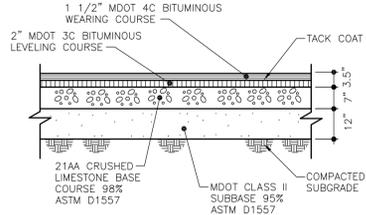
TYPICAL HANDICAP SIGN
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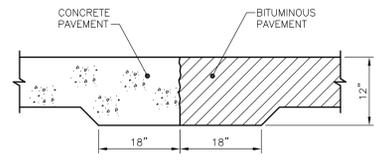
RIPRAP DETAIL
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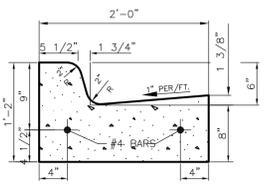
MANHOLE / CATCHBASIN CONCRETE SLAB
NOT TO SCALE



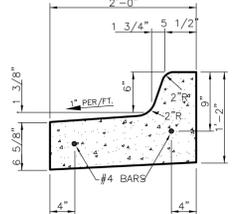
HMA PARKING LOT SECTION
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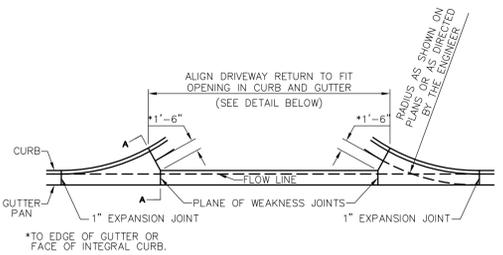
TURNDOWN PAVEMENT SECTION
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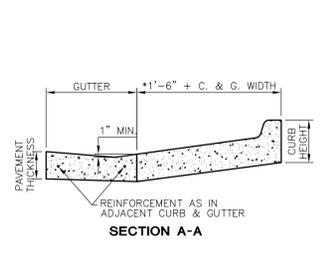
CONCRETE CURB & GUTTER DETAIL
M.D.O.T. F-4
NO SCALE



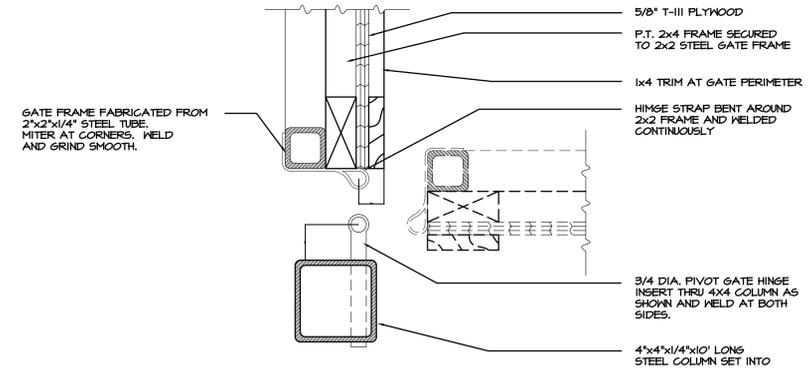
CONCRETE CURB & GUTTER DETAIL
M.D.O.T. F-4 MODIFIED
NO SCALE



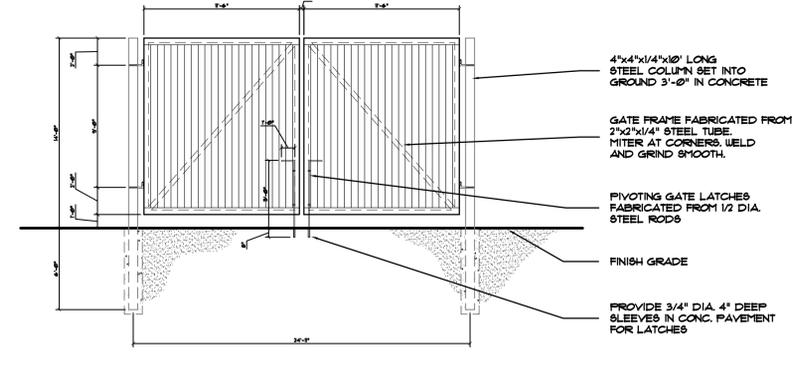
MDOT CONCRETE DRIVEWAY OPENING-DETAIL M
NO SCALE



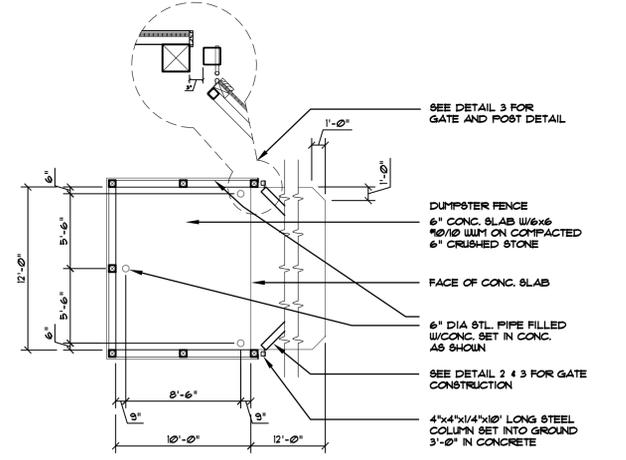
SECTION A-A



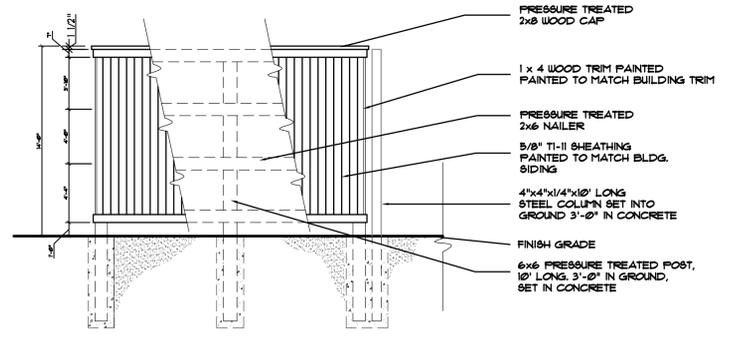
DETAIL
DUMPSTER GATE AND HINGE
SCALE: 3/4"=1'-0"



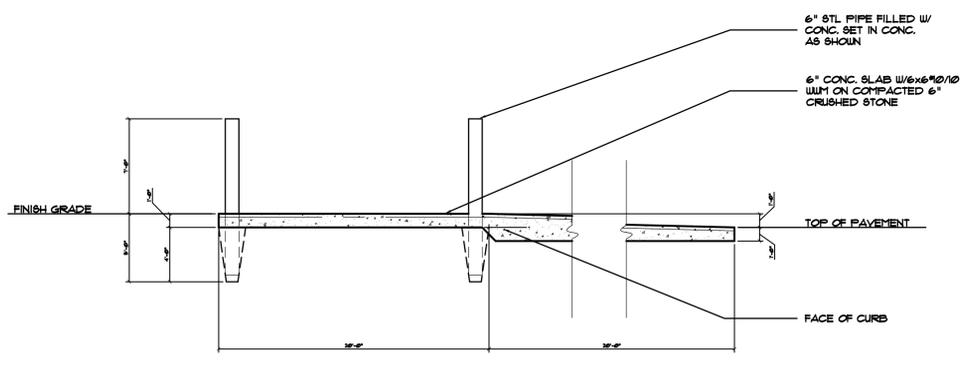
DETAIL
DUMPSTER FENCE GATE
SCALE: 1/4"=1'-0"



DETAIL
WOOD DUMPSTER FENCE W/CONC. PAD & APRON
SCALE: 1/8"=1'-0"
SEE SITE PLAN FOR TYPE OF FENCE SPECIFIED.



DETAIL
WOOD DUMPSTER FENCE ELEVATION
SCALE: 1/4"=1'-0"



DETAIL
DUMPSTER PAD SECTION
SCALE: 1/4"=1'-0"

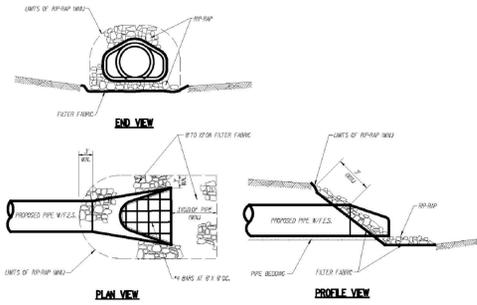
PROJECT LOG	FILE: 2015-107-SHEETS
START DATE: 2/25/16	PROJECT MGR: JDM
COMMISSION SUBMITTAL: 4/23/16	DESIGNED BY: RWR
PLANNING COMMISSION RESUBMITTAL: 4/23/16	DRAWN BY: M.M.D.
	CHECKED BY:
	SCALE:
	SHEET: 8 OF 9

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DAVE DITTEMBER
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PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
 SECTION 99, TIER-2 RE
 CITY OF MIDLAND
 MIDLAND COUNTY, MICHIGAN

DETAIL SHEET

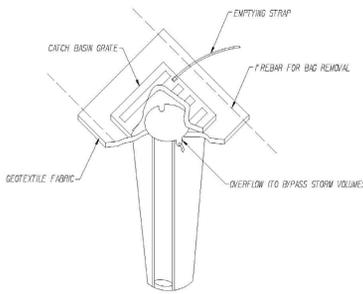
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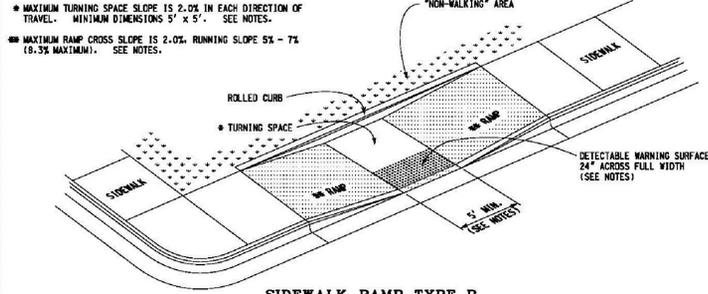
TYPICAL STORM SEWER INLET/OUTLET DETAIL

CATCH BASIN INSERT NOTES:

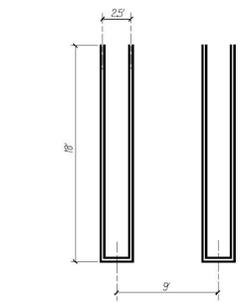
1. INSTALL OUTSIDE IN CATCH BASIN MAKING CURB STRAPS AND LAG TIE-OUTSIDE OF BASIN AND TIED IN PLACE BY DRAIN GRADE.
2. HOLD REMOVAL FLAP POCKETS AND EMPTYING STRAPS BY CONCRETING WITH SOIL.
3. USE CURB STYLE INSERTS WITH FABRIC ROLL FOR OPEN BACK CURB TALLETS.
4. INSPECT FOR MAINTENANCE EVERY 2 WEEKS OR AFTER A STORM EVENT.
5. CATCH BASIN SEDIMENT CONTROLS SHALL BE A WOVEN GEOTEXTILE FABRIC, MANUFACTURED BY KCF ENVIRONMENTAL'S SUSTAIN-FLOSS ENVIRONMENTAL'S STRENGTHFLOOR OR APPROVED EQUIVALENT.



CATCH BASIN INSERT DETAIL



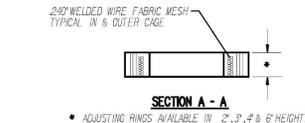
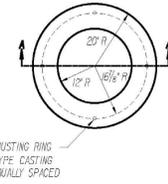
SIDEWALK RAMP TYPE P (PARALLEL RAMP) DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



PAVEMENT MARKING DETAIL

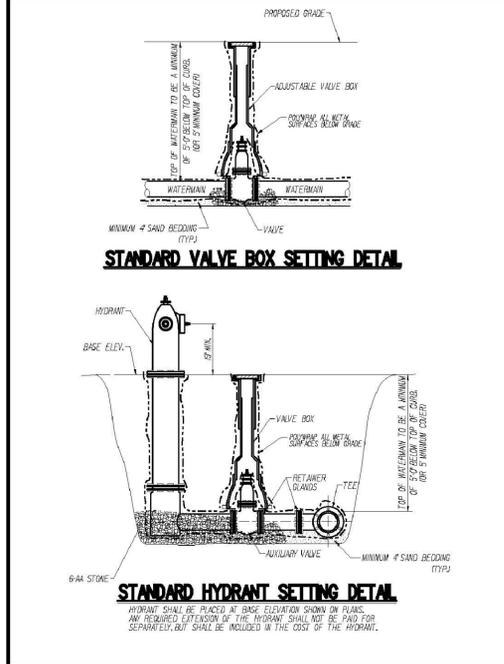
GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO CITY OF MIDLAND STANDARD SPECIFICATIONS.
2. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL (800-482-711) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION IN THE VICINITY OF UTILITY LINES.
3. THE PROPOSED WATER MAIN SHALL BE INSTALLED A MINIMUM OF 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL EXISTING OR PROPOSED SEWERS.
4. THE PROPOSED WATER MAIN SHALL BE INSTALLED A MINIMUM OF 5 FEET BELOW TOP OF CURB GRADE.
5. ALL WATER MAIN FITTINGS SHALL BE MECHANICAL RESTRAINED JOINTS, INSTALL FIELD LOCK GASKETS AS DETERMINED BY THE FIELD ENGINEER.



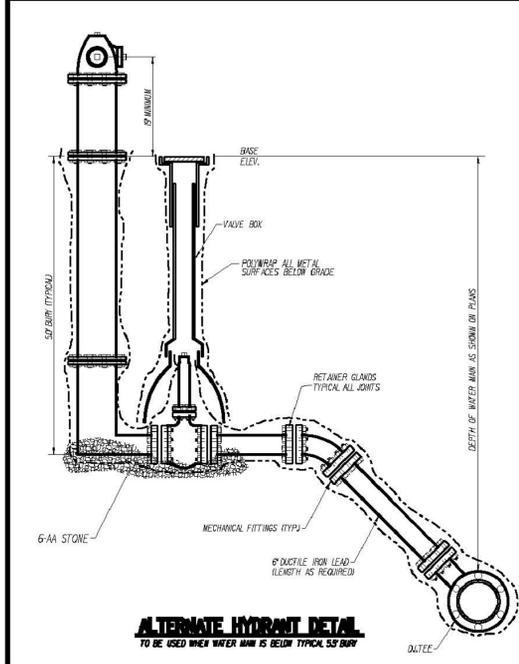
SECTION A - A ADJUSTING RINGS AVAILABLE IN 2', 3', 4' & 6' HEIGHTS

PRE-CAST CONCRETE ADJUSTING RING

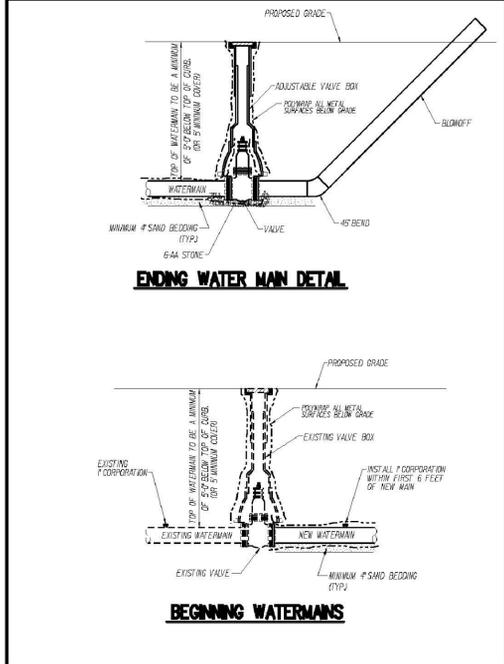


STANDARD VALVE BOX SETTING DETAIL

STANDARD HYDRANT SETTING DETAIL

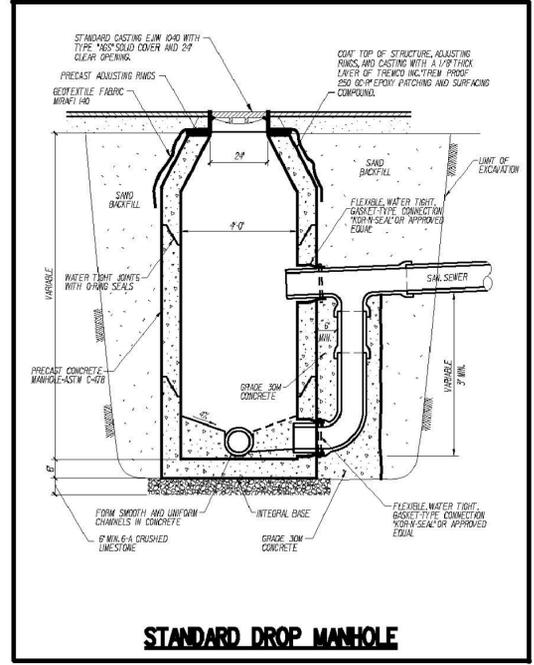


ALTERNATE HYDRANT DETAIL TO BE USED WHEN WATER MAIN IS BELOW TYPICAL 55 CURB

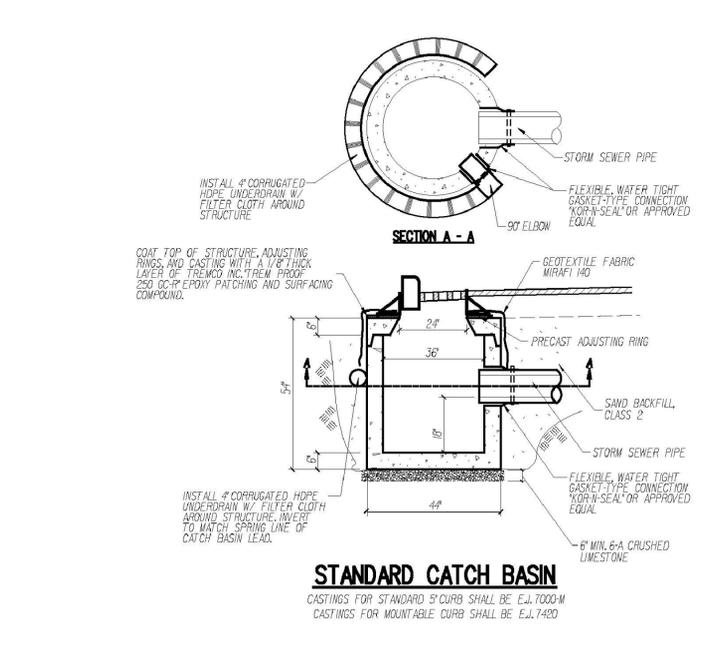


ENDING WATER MAIN DETAIL

BEGINNING WATERMANS

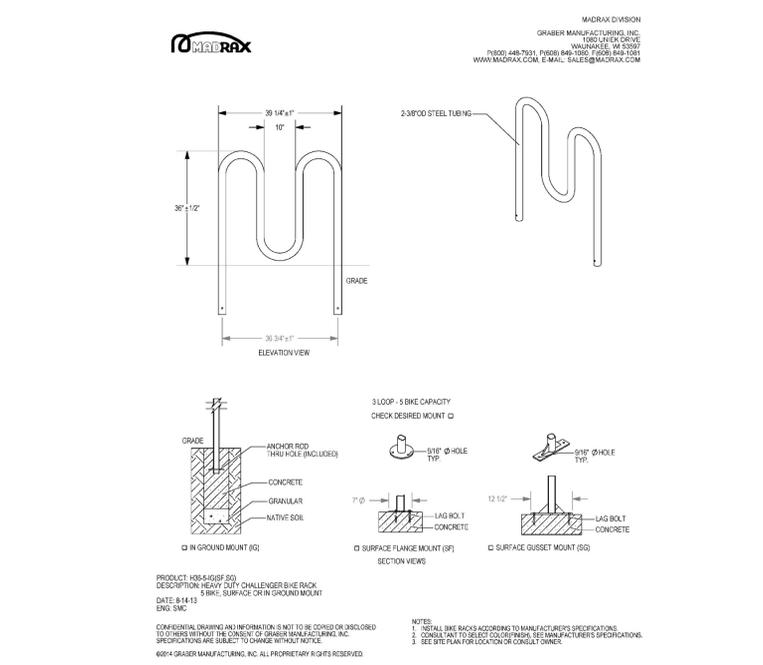


STANDARD DROP MANHOLE

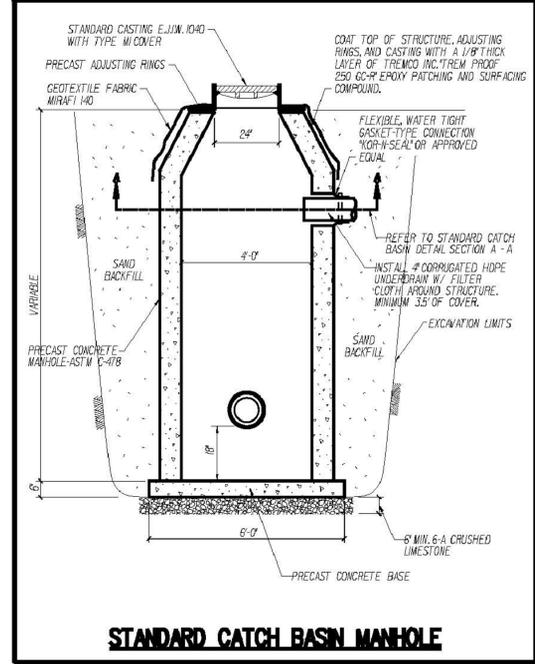


STANDARD CATCH BASIN

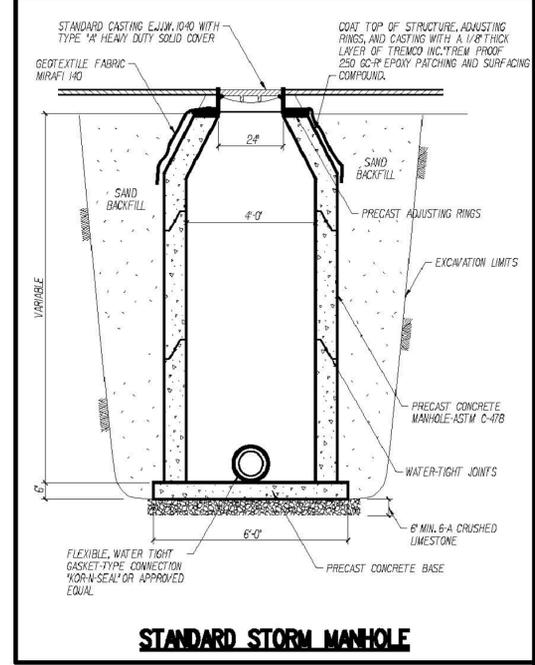
CASTINGS FOR STANDARD 5' CURB SHALL BE E.J. 1000-M CASTINGS FOR MOUNTABLE CURB SHALL BE E.J. 7420



STANDARD STORM MANHOLE



STANDARD CATCH BASIN MANHOLE



STANDARD STORM MANHOLE

PREPARED UNDER THE SUPERVISION OF:

START DATE	2/25/16
START STATUS	COMMISSION SUBMITTAL
PLANNING COMMISSION RESUBMITTAL	4/23/16
FILE:	2015-107-SHEETS
PROJECT MGR:	JDM
DESIGNED BY:	RWR
DRAWN BY:	M.M.D.
CHECKED BY:	
SCALE:	
SHEET:	9 OF 9

DLR DAVE DITTEMBER LLC
7340 MIDLAND ROAD
FREELAND, MICHIGAN 48623
(889) 906-4767

PROPOSED MEDICAL BUILDING
801 JOE MANN BLVD
SECTION 99, TIER-2 RE
CITY OF MIDLAND
MIDLAND COUNTY, MICHIGAN

D&M SITE INC. Inc. Engineering
Surveying, Inspection, Testing
401 BALSAM STREET, PO BOX 159, CARROLLTON, MICHIGAN 48724
Phone: (889) 752-6868-4764 (889) 752-6868

DETAIL SHEET

C4.1
2015.167

PLANTING DETAILS

EVERGREEN TREES

NOTE: REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GROWING.

RUBBER HOSE (BLACK)
PLASTIC BANDS
COVER PLANTING WITH 4" SHREDDED HARDWOOD BARK MULCH TO 6" BEYOND OUTERMOST BRANCHES. LEAVE 3" BARE SOIL AROUND TREE.
(3) 2"x2" HARDWOOD STAKES OR EQUIVALENT DRIVEN 6"-8" OUTSIDE OF ROOTBALL. REMOVE AFTER ONE YEAR.
TOPSOIL
SET PLANT MATERIAL 6" HIGHER THAN ORIGINAL DEPTH. CUT ALL BINDING AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
AMEND SOIL PER SITE CONDITIONS AND REQUIREMENTS OF THE TREE.

DECIDUOUS TREES

DO NOT CUT LEADER

PLASTIC BANDS
(3) 2"x2" X8" HARDWOOD STAKE SET 18" INTO UNDISTURBED SOIL
TREE WRAP
UNDISTURBED SOIL

NOTE: STAKE TREES OVER 2" CALIPER. GUY TREES OVER 3" CALIPER. TREE SHALL HAVE SAME RELATIONSHIP TO FINISHED GRADE AS IT HAD AT PLACE OF ORIGIN.

3"-4" SHREDDED BARK MULCH
REMOVE BURLAP FROM TOP 1/3 OF BALL. SLASH BURLAP AND CUT WIRE ON ROOTBALL AT 18" INTERVALS (BOTH HORIZONTAL AND VERTICAL)

PERENNIALS

PERENNIALS - SIZE AND SPACING AS SHOWN ON PLAN

3" SHREDDED BARK MULCH
UNDISTURBED SOIL

PLANTING MIXTURE: 50% TOPSOIL, 50% SPHAGNUM PEAT MIXTURE

SHRUBS

NOTE: PLANT SHRUB AT SAME RELATIONSHIP TO FINISHED GRADE AS IT HAD TO GRADE AT PLACE OF ORIGIN

4" SHREDDED BARK MULCH
CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. SLASH REMAINING BURLAP
LIMIT OF BARE ROOT SPREAD
UNDISTURBED SOIL

PLANT SCHEDULE

MADRAX DIVISION
GRABER MANUFACTURING, INC.
1800 LINEX DRIVE
WALWALAKE, IN 46787
(800) 465-7031 (PHONE) (847) 100-1000 (FAX) (847) 100-1001
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

23R00 STEEL TUBING

36'-1 1/2"

39 1/4" x 1"

10"

GRADE

3 LOOP - 5 BIKE CAPACITY
CHECK DESIRED MOUNT □

1/2" HINGE ROD THRU HOLE (INCLUDED)

CONCRETE

GRANULAR

NATIVE SOIL

7" □

12 1/2"

LAG BOLT CONCRETE

LAG BOLT CONCRETE

□ IN GROUND MOUNT (G)

□ SURFACE FLANGE MOUNT (SF)

□ SURFACE GUSSET MOUNT (SG)

SECTION VIEWS

PRODUCT: 1085-405F (SD)
DESCRIPTION: HEAVY DUTY CHALLENGER BIKE RACK
1 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 8-14-13
ENG: SMC

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SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULT WITH US TO SELECT COLOR/PURISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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PLANT SCHEDULE

PARKING LOT LANDSCAPE
REQUIRED: 20 SF PER PARKING SPACE (5,320 SF OF GREEN SPACE)
1 DECIDUOUS/EVERGREEN PER 300 SF (5,320/300 = 18 TREES)
1 SHRUB PER 75 SF (5,320/75 = 71 SHRUBS)

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
2	AMELANCHIER x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	2.5" B&B
7	ABIES concolor	CONCOLOR FIR	7-8" B&B
9	GINKGO biloba 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2.5" B&B
23	SYRINGA pubescens subsp. patula 'MISS KIM'	MISS KIM KOREAN LILAC	3 GAL
64	TAXUS x media 'WARDII'	WARDII YEW	15-18" B&B

PROVIDED - 5,809 SQ.FT. OF PARKING LOT GREEN SPACE TOTAL TREES: 18 TOTAL SHRUBS: 87

ROAD FRONTAGE LANDSCAPE
REQUIRED: 1 DECIDUOUS/EVERGREEN PER 40 LINEAL FEET (687/40 = 18 TREES)
8 SHRUB PER 40 LINEAL FEET (687/40 = 17.175 x 8 = 138 SHRUBS)

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
11	ACER rubrum 'RED SUNSET'	RED SUNSET MAPLE	2.5" B&B
65	BERBERIS thunbergii 'CRIMSON PYGMY'	CRIMSON PYGMY DWARF JAPANESE BARBERRY	3 GAL
7	EUONYMUS alata 'COMPACTUS'	DWARF BURNING BUSH	30-36" B&B
7	MALUS sargentii	SARGENT CRABAPPLE	2.5" B&B
73	TAXUS x media 'WARDII'	WARDII YEW	15-18" B&B

PROVIDED - TOTAL TREES: 18 TOTAL SHRUBS: 145

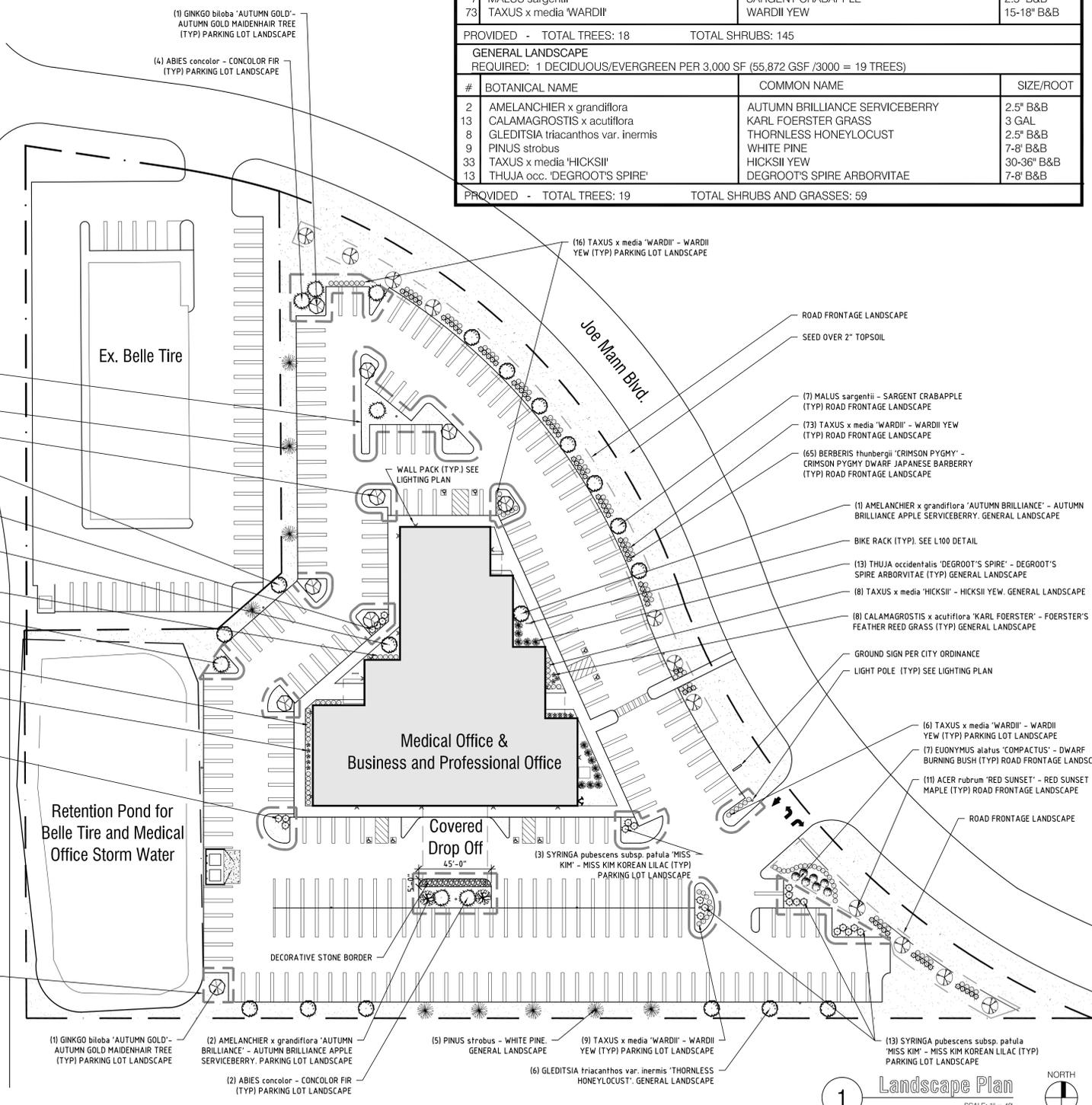
GENERAL LANDSCAPE
REQUIRED: 1 DECIDUOUS/EVERGREEN PER 3,000 SF (55,872 GSF / 3000 = 19 TREES)

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
2	AMELANCHIER x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	2.5" B&B
13	CALAMAGROSTIS x acutiflora	KARL FOERSTER GRASS	3 GAL
8	GLEDITSIA triacanthos var. inermis	THORNLESS HONEYLOCUST	2.5" B&B
9	PINUS strobus	WHITE PINE	7-8" B&B
33	TAXUS x media 'HICKSII'	HICKSII YEW	30-36" B&B
13	THUJA occ. 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	7-8" B&B

PROVIDED - TOTAL TREES: 19 TOTAL SHRUBS AND GRASSES: 59

GENERAL NOTES FOR LANDSCAPE DEVELOPMENT

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS. TREES WITH SAND BALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- CONCERNING GROUND COVER, ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS. ALL OTHER DISTURBED AREAS SHALL BE SOODED.
- LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- OWNER TO ESTABLISH MAINTENANCE PROGRAM TO ENSURE GROUNDS AND LANDSCAPING TO REMAIN HEALTHY AND WELL GROOMED.
- RECOMMENDED PLANTING DATES ARE MARCH 1ST TO MAY 15TH FOR ALL MATERIALS, AND OCTOBER 15TH TO DECEMBER 15TH FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
- TURF GRASS TO BE COMMON TO MIDLAND COUNTY, MI.



DESIGNHAUS

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
WWW.DESIGNHAUS.COM

D&M SITE INC.
Surveying - Inspection - Testing - Engineering

401 BALSAM STREET PO BOX 155, CARROLLTON, MICHIGAN 48724
PHONE (989) 762-6500 FAX (989) 762-6600

No.	Revision/Issue	Date
---	---	---
---	---	---
---	Site Plan Approval	4.29.16
---	Site Plan Approval	4.15.16

Proposed Medical Building
801 Joe Mann Blvd.
Midland, MI 48642

Landscape Plan

L100
015118

1 Landscape Plan
SCALE: 1" = 40'

L100_Landscape_Plan.dwg

4/28/2016

Francesca

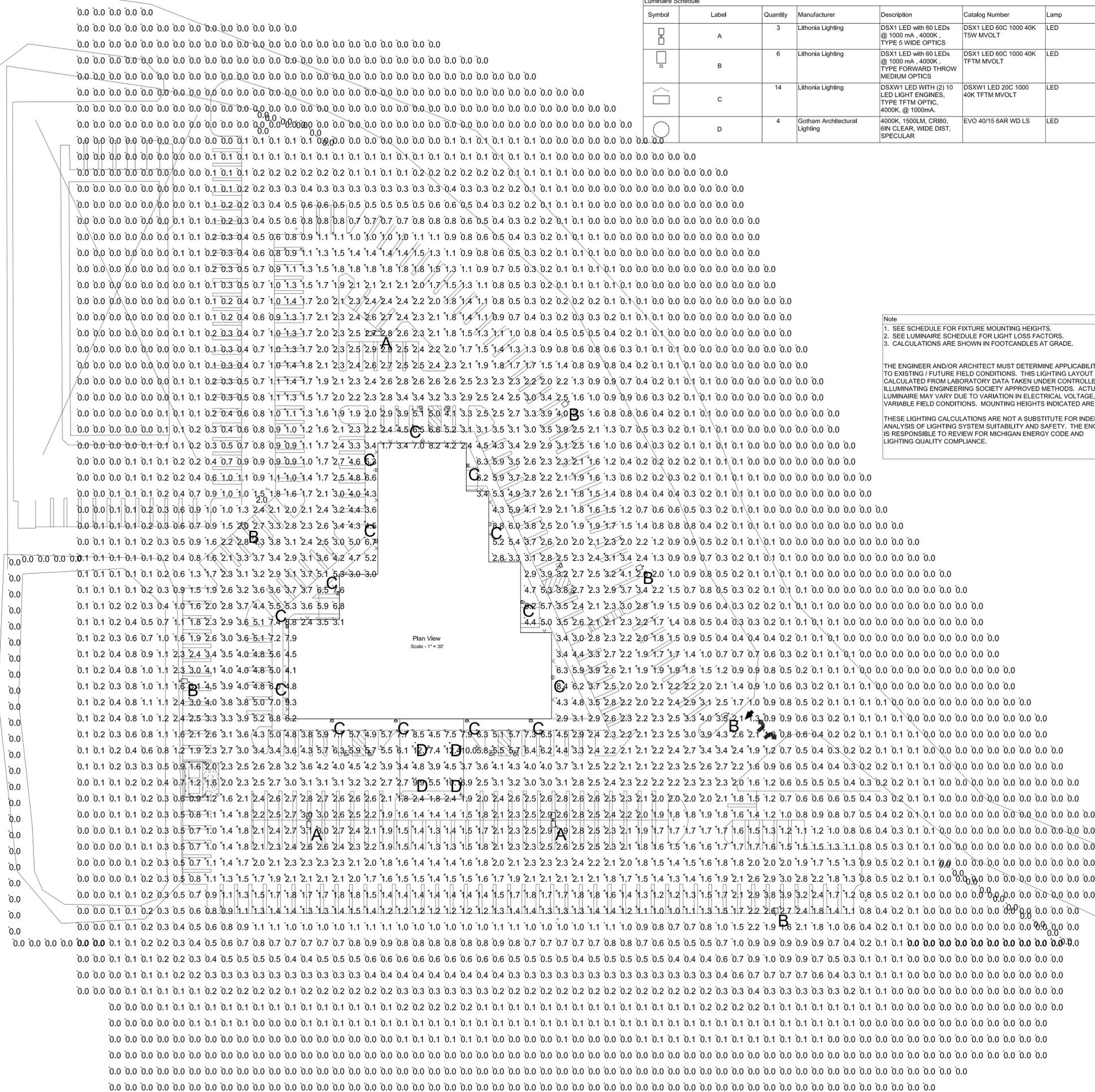
Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lamp	Lumens Per Lamp	Number Lamps	Filename	Light Loss Factor	Wattage	Mounting Height
	A	3	Lithonia Lighting	DSX1 LED with 60 LEDs @ 1000 mA, 4000K, TYPE 5 WIDE OPTICS	DSX1 LED 60C 1000 40K T5W MVOLT	LED	22977	1	DSX1_LED_60C_1000_40K_T5W_MVOLT.ies	0.9	418	27'-6"
	B	6	Lithonia Lighting	DSX1 LED with 60 LEDs @ 1000 mA, 4000K, TYPE FORWARD THROW MEDIUM OPTICS	DSX1 LED 60C 1000 40K TFTM MVOLT	LED	21875	1	DSX1_LED_60C_1000_40K_TFTM_MVOLT.ies	0.9	209	27'-6"
	C	14	Lithonia Lighting	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 1000mA.	DSXW1 LED 20C 1000 40K TFTM MVOLT	LED	7711	1	DSXW1_LED_20C_1000_40K_TFTM_MVOLT.ies	0.9	73.2	10'-0"
	D	4	Gotham Architectural Lighting	4000K, 1500LM, CR180, 6IN CLEAR, WIDE DIST, SPECULAR	EVO 40/15 6AR WD LS	LED	1679	1	EVO_40_15_6AR_WD_LS.ies	0.9	18.5	12'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING AND DRIVE AREAS	X	2.6 fc	12.7 fc	0.7 fc	18.1:1	3.7:1	0.2:1
PROPERTY LINE		0.4 fc	2.0 fc	0.0 fc	N/A	N/A	0.2:1

Note
1. SEE SCHEDULE FOR FIXTURE MOUNTING HEIGHTS.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



MCLAREN MEDICAL - MIDLAND
SITE PHOTOMETRIC PLAN
PREPARED FOR: DESIGNHAUS
GASSER BUSH ASSOCIATES



Site Plan SP #348

Date: May 3, 2016

STAFF REPORT TO THE PLANNING COMMISSION

SUBJECT: Bakus Storage Units

APPLICANT: Jason Bakus

LOCATION: 5911 Stark Road

ZONING: (RC) Regional Commercial

ADJACENT ZONE: North: (OS) Office Service
 South: (OS) Office Service & (RC) Regional Commercial
 East: (Homer Township Zoning)
 West: (RA-1) Single-Family Residential

ADJACENT DEV: North: Wooded/Vacant
 South: Storage units and single-family houses
 East: Single-family houses with some vacant/wooded land
 West: Single-family houses

REPORT

Site Plan No. 348 from Jason Bakus is a proposal for four separate mini-warehouse buildings comprising a total of 19,520 square feet. The proposal includes one climate controlled building (the largest of the four) and three non-climate controlled buildings. A stormwater detention pond, various access drives, parking and landscaping are also included within the plan.

The subject property is zoned (RC) Regional Commercial by the City of Midland Zoning Ordinance. Mini-warehouses are permitted uses by right within the Regional Commercial zoning district. Site plan review and approval under Section 27.02(A) of the Zoning Ordinance is required for this proposed use. Section 27.06(A) of the Zoning Ordinance states that: "The following criteria shall be used as a basis upon which site plans will be reviewed and approved:"

BASIS FOR ACTION

1. Adequacy of Information

The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.

The site plan contains all of the information required for site plan approval but is in need of final approval of the following items:

- A final stormwater permit must be approved by the City Engineering Department.
- A final soil erosion and sedimentation control permit must be approved by the City Building Department.
- Public water utility easement documents shall be submitted for review and approval by the City Engineering Department and the City Attorney, and executed and recorded at the Midland County Register of Deeds upon approval.

2. **Site Design Characteristics**

All elements of the site design shall be harmoniously and efficiently organized in relation to topography, the size and type of parcel, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted by this Ordinance.

The proposed storage unit buildings are located efficiently on the site in relation to the abutting uses and proposed access points. The four buildings, while located on a separate parcel, are proposed to fit well next to the existing storage buildings that are located to the west and south of the subject area. The proposed privacy fence will provide adequate screening from the abutting sites, in accordance with the special requirements for mini-warehouses.

3. **Appearance**

Landscaping, earth berms, fencing, signs, walls and other similar site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments.

The building orientation and layout are considered appropriate for the site. The proposed landscaping will add street-side trees to Stark Road, improving the aesthetics of this side of the development. The site will be screened from the adjacent sites by a 6' privacy fence.

4. **Compliance with District Regulations**

The site plan shall comply with the district requirements for height of building, lot size, lot coverage, density, and all other requirements set forth in the Schedule of Regulations (Article 26.00) unless otherwise provided in this Ordinance.

The project meets all setbacks, lot area, height and other dimensional requirements for the proposed use in the RC zoning district.

5. **Preservation and Visibility of Natural Features**

Natural features shall be preserved as much as possible, by minimizing tree and soil removal alteration to the natural drainage course and the amount of cutting, filling, and grading.

The proposal is utilizing the natural drainage course of the site by locating the proposed stormwater detention pond near the rear of the property. A large majority of the existing trees and brush will be retained on site as part of this proposal.

6. **Privacy**

The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate if permitted, for the protection and enhancement of property and the safety and privacy of occupants and uses.

The site plan includes a 6' high privacy fence surrounding the proposed development that will screen the buildings from adjacent properties. This is in accordance with the screening standards for mini-warehousing of the City's Zoning Ordinance. Landscaping trees are proposed along Stark Road which will soften the side of the building against the public street.

7. **Emergency Vehicle Access**

All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

The Fire Department has reviewed the proposed site plan for adequate emergency vehicle access and is satisfied with the plan as proposed. Adequate access will exist on all sides of the proposed buildings.

8. **Ingress and Egress**

Every structure or dwelling unit shall be provided with adequate means of ingress and egress via public or private streets and pedestrian walkways.

Adequate vehicular site access is proposed utilizing a new access drive from the property to the south, which is under common ownership. The proposal will not result in any additional curb cuts to the abutting road network. The existing curb cuts on North Saginaw Road are adequately sized to handle the proposed development.

9. **Pedestrian Circulation**

Each site plan shall provide a pedestrian circulation system, which is insulated as completely as is reasonably possible from the vehicular circulation system.

Pedestrian circulation for this proposal is seen as adequate. Access to each building will be possible using the asphalt access drives in and around the buildings, similar to how most other mini-warehouse facilities are built in the city.

10. **Vehicular and Pedestrian Circulation Layout**

The layout of vehicular and pedestrian circulation systems shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry in accordance with subsection 3.10. In order to insure public safety and promote efficient traffic flow and turning movements, the applicant may be required to limit street access points or construct a secondary access road.

Both vehicle and pedestrian circulation is considered appropriate for this development.

11. **Parking.**

The proposed development shall provide adequate off-street parking in accordance with the requirements in Article 5.00 of this ordinance.

The parking proposed for the new development is compliant with Article 5.00 of the Zoning

Ordinance. Parking is provided along the access isles throughout the development, in accordance with Article 9.00 of the Zoning Ordinance.

12. **Drainage**

The project must comply with the City's Stormwater Ordinance.

The City Engineering Department has reviewed the proposal and indicated that the calculations presented are sufficient to meet the City's stormwater management ordinance; although, the final stormwater permit must still be signed off by the City Engineering Department.

13. **Soil Erosion and Sedimentation**

The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current State, County, and City standards.

A soil erosion and sedimentation control permit has been submitted for review and approval. The City Building Department will give final approval on this permit, which is typically addressed at the final permitting stage.

14. **Exterior Lighting**

Exterior lighting shall be designed so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets and comply with the provisions in Section 3.12.

The applicant has submitted a photometric plan that demonstrates compliance with city standards for illumination.

15. **Public Services**

Adequate services and utilities, including water, sewage disposal, sanitary sewer, and storm water control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development. All streets and roads, water, sewer, and drainage systems, and similar facilities shall conform to the design and construction standards of the City.

As previously discussed, a final stormwater management permit must be approved by the City Engineering Department. This is typically addressed at final permitting stage.

The City Fire and Utility Departments are satisfied with the water main extension proposed within the site plan. A 20' public utility easement shall be given to the City to protect this main and the service it provides to the fire hydrant within the development. Drafting and execution of this type of easement is typically handled during construction.

16. **Screening**

Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas shall be screened by walls or landscaping of adequate height and shall comply with Articles 6.00 and 7.00 of this Ordinance. All roof-top mechanical equipment shall be screened from view from all residential districts and public roadways.

The proposal meets all screening requirements of the ordinance, including the special standards in Article 9.00 Section 9.02H(2).

17. Health and Safety Concerns

Any use in any zoning district shall comply with all applicable public health, pollution, and safety laws and regulations.

No health and safety concerns have been identified.

18. Sequence of Development

All development phases shall be designed in logical sequence to insure that each phase will independently function in a safe, convenient and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.

The applicant has indicated that this will be built in one phase. It is anticipated that future phases of construction will be proposed at a later date. Any future proposal will need to go through site plan review and approval at that time.

19. Coordination with Adjacent Sites

All site features; including circulation, parking, building orientation, landscaping, lighting, utilities, common facilities, and open space shall be coordinated with adjacent properties.

The proposal is fully contained on two sites that are under common ownership.

20. Signs.

All proposed signs shall be in compliance with the regulations in Article 8.00 of this Ordinance

No signage is proposed with this project. Any future signage will need to meet the requirements of Article 8 and be approved by the City Building Department before installation.

CONTINGENCY ITEMS

Based on consideration of the site plan thus far, staff is of the opinion that the proposal adequately meets city requirements and is designed in a manner which is harmonious with the campus. That said, however, approval of the site plan could be considered subject to the following contingencies:

1. A final stormwater management permit must be approved by the City Engineering Department.
2. A final soil and sedimentation control plan must be approved by the City Building Department.
3. Public water utility easement documents shall be submitted for review and approval by the City Engineering Department and the City Attorney, and executed and recorded at the Midland County Register of Deeds upon approval.

PLANNING COMMISSION ACTION

Staff currently anticipates that the Planning Commission will hold a public hearing on this request during its regular meeting on May 10, 2016 and will formulate a recommendation to City Council thereafter. If recommended to City Council the same evening, we anticipate that on May 23, 2016 the City Council will consider the site plan and Planning Commission recommendation. Please note that these dates are merely preliminary and may be adjusted

due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,

A handwritten signature in cursive script that reads "C. Bradley Kaye". The signature is written in a dark ink on a light-colored background.

C. Bradley Kaye, AICP
Assistant City Manager for Development Services

/grm

RECEIVED
APR 29 2016
PLANNING DEPT

L-

PUBLIC HEARING NOTICE City of Midland SITE PLAN

Please take notice that the Midland City Planning Commission will conduct a public hearing on Site Plan No. 348 initiated by Jason Bakus for site plan review and approval for a 19,520 square foot self-storage, located at 5911 Stark Road.

Said hearing has been scheduled to take place on Tuesday, May 10, 2016, at 7:00 p.m. in Council Chambers, City Hall, 333 West Ellsworth Street, Midland, Michigan, as required by Article 27, Section 27.03 of Ordinance No. 1585.

A copy of the site plan may be reviewed at the Planning Department, City Hall. If you have any questions, contact the Planning Department at 837-3374.

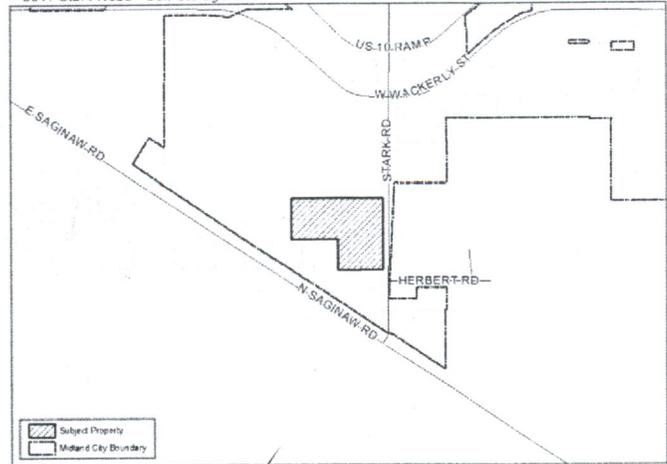
Midland City Planning Commission

C. Bradley Kaye

C. Bradley Kaye, AICP, CFM
Assistant City Manager for
Development Services

Site Plan #348 - Jason Bakus

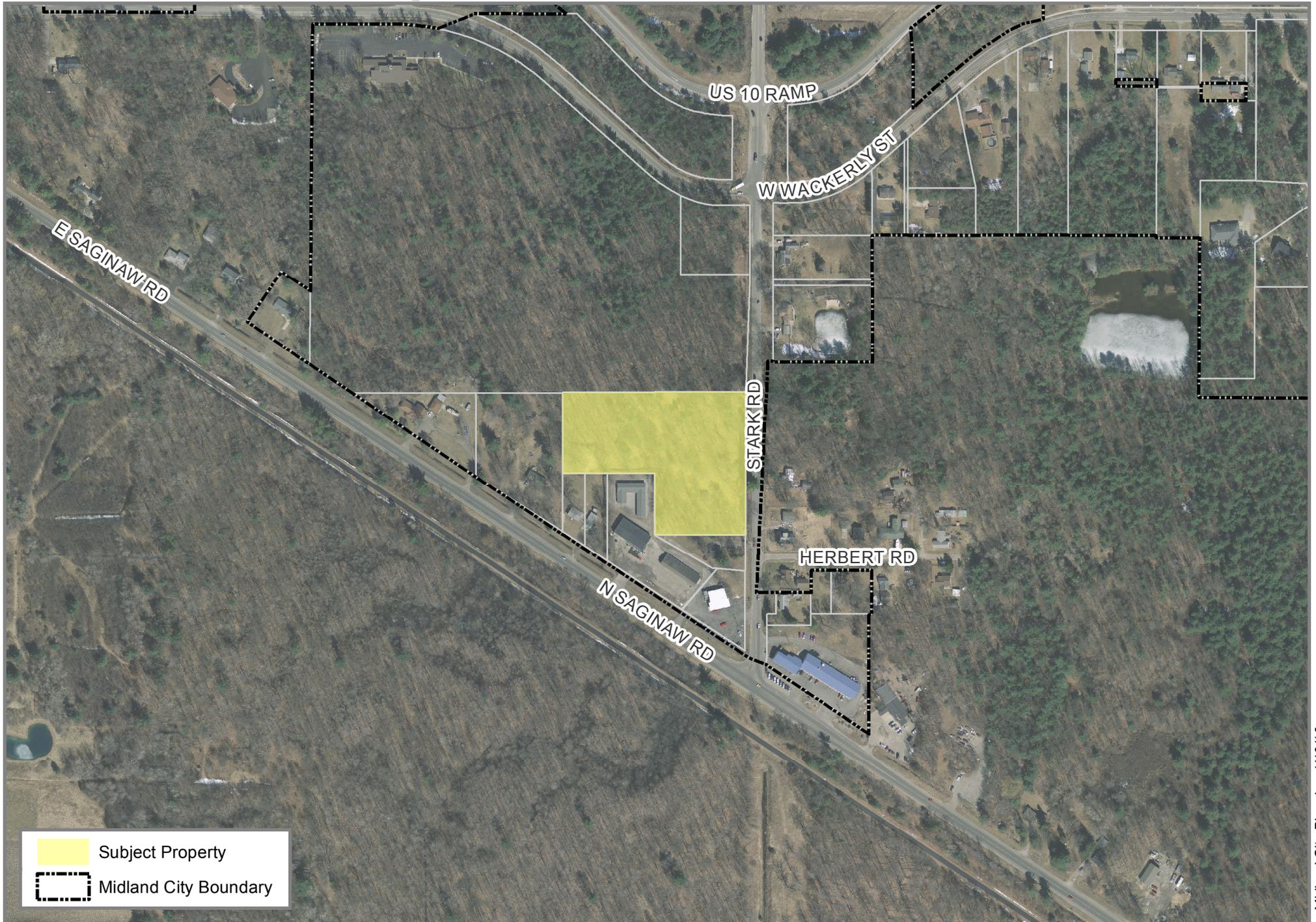
> 5911 Stark Road - Self Storage Units



*I am in favor of
granting this Request
Tom McCarver*

Site Plan #348 - Jason Bakus

> 5911 Stark Road - Self Storage Units



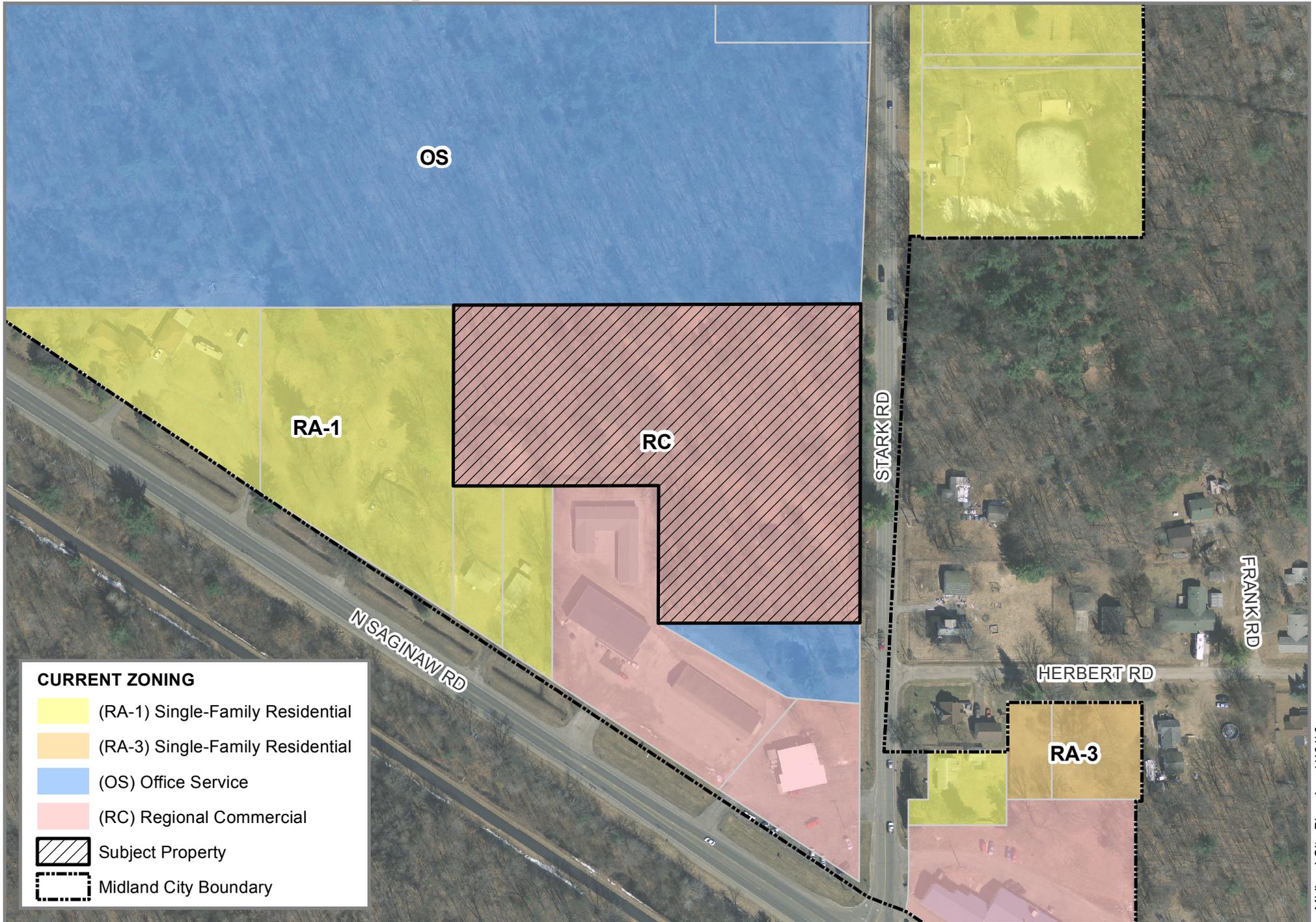
Site Plan #348 - Jason Bakus

> 5911 Stark Road - Self Storage Units



Site Plan #348 - Jason Bakus

> 5911 Stark Road - Self Storage Units

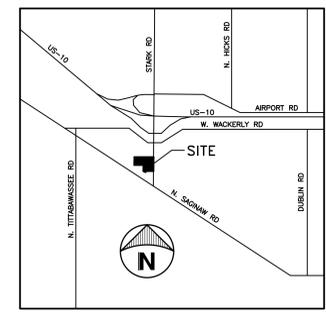


CURRENT ZONING

-  (RA-1) Single-Family Residential
-  (RA-3) Single-Family Residential
-  (OS) Office Service
-  (RC) Regional Commercial
-  Subject Property
-  Midland City Boundary

DATE	STATUS/REVISIONS

CHECKED BY: JCW
 DESIGNED BY: TAG
 DRAWN BY: TAG
 SCALE: As Shown
 PROJ. #: 16-2302-0021
 DATE: APRIL 2016
 SHEET



LOCATION MAP
 NOT TO SCALE

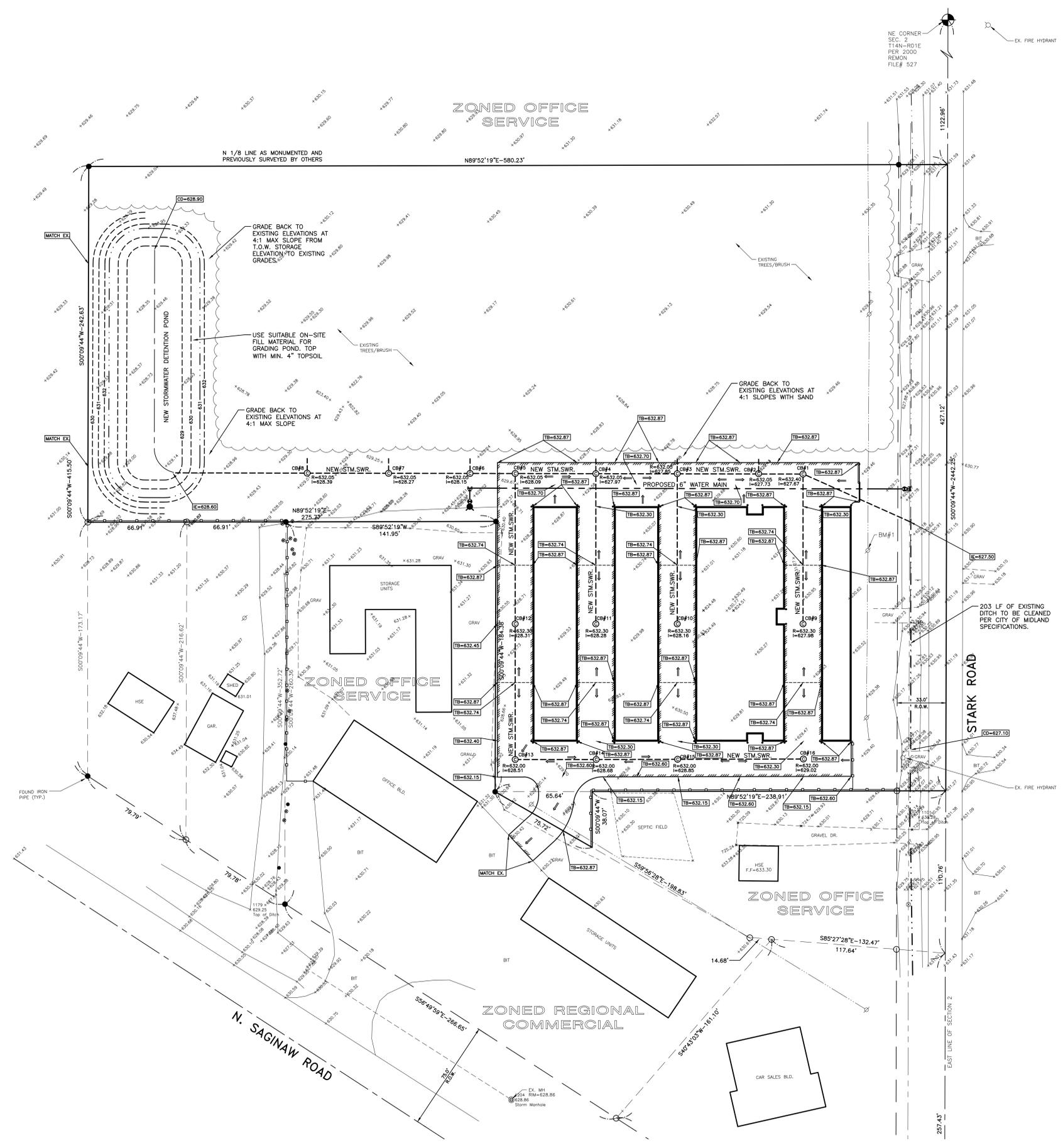
LEGEND

- EX. SPOT GRADE
- EX. CENTERLINE DITCH
- EX. SANITARY SEWER W/MANHOLE
- EX. STORM SEWER
- EX. WATERMAIN
- EX. ELECTRIC LINE
- EX. CHAINLINK FENCE
- EX. WOOD FENCE
- EX. GAS LINE
- EX. TELEPHONE LINE
- EX. OVERHEAD UTILITY WIRES
- EX. SIGN WITH POST
- EX. BUILDINGS
- EX. BITUMINOUS PAVEMENT
- EX. CONCRETE PAVEMENT (C. OR CONG.)
- EX. GRAVEL PAVEMENT
- EX. STEEL POST
- EX. STORM CURB INLET
- EX. STORM CATCH BASIN/MANHOLE
- EX. HYDRANT
- EX. WATER OR GAS VALVE
- EX. UTILITY POLE
- EX. SEWER CLEANOUT
- EX. WATER WELL
- EX. LIGHT POLE
- EX. UTILITY RISER
- PROP. STORM CATCH BASIN/MANHOLE
- PROP. STORM SEWER
- PROP. WATERMAIN
- PROP. DRAINAGE FLOW
- PROP. BITUMINOUS PAVEMENT
- PROP. BUILDING

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL CALL "MISS DIG" (811) 3 WORKING DAYS BEFORE DIGGING ON THE PROJECT TO VERIFY EXISTING UNDERGROUND UTILITIES.
2. THE EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DRAWN IN ACCORDANCE TO THE INFORMATION PROVIDED. ALL UTILITIES SHALL BE FIELD LOCATED BY THE CONTRACTOR PRIOR TO CROSSING. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. DURING THE LIFE OF THE PROJECT, THE CONTRACTOR SHALL CONFORM TO ACT No. 451, PUBLIC ACTS OF 1994, RELATIVE TO THE SOIL EROSION AND SEDIMENTATION CONTROL ACT.
4. MATCH EXISTING BIT. PAVEMENT ALONG NEW WALKS AND PROPOSED NEW BIT. PAVEMENT AREAS WHERE APPLICABLE. UNLESS NOTED OTHERWISE.
5. ALL FILL ON PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE INSTALLATION OF BASE COURSE AND PAVING.
6. THE SITE EXCAVATION CONTRACTOR SHALL VERIFY THE EXISTING SANITARY SEWER, STORM SEWER AND WATERMAIN DEPTH PRIOR TO ANY FOOTING EXCAVATION OR OTHER EXCAVATED AREAS. COORDINATE INVERTS WITH CITY FORCES AT THE PROPERTY LINES.
7. REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH SUITABLE COMPACTED FILL. FILL MATERIAL SHALL BE COMPACTED SAND BACKFILL CLASS II GRANULAR.
8. BACKFILL ALL TRENCHES UNDER SLABS, WALKS AND PAVED AREAS WITH COMPACTED SAND BACKFILL MDOT QLI. COMPACTION SHALL BE 95% MAXIMUM UNIT WEIGHT AS DETERMINED BY MODIFIED PROCTOR.
9. ALL ON SITE WATER SERVICES SHALL MEET THE REQUIREMENTS OF THE STANDARD DETAILS OF CITY OF MIDLAND, IF APPLICABLE.
10. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS FOR WORK AT THE SITE. THIS SHALL INCLUDE MIOSHA REGULATIONS.
11. THE CONTRACTOR/DEVELOPER SHALL PAY FOR AND OBTAIN ALL BUILDING PERMITS, LOCAL PERMITS AND PAY ALL CHARGES FOR ANY INSPECTION AND TESTING.
12. THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL AND SHALL ALLOW NO ON-SITE BURNING.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES AND UPON COMPLETION OF THE PROJECT LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE ENGINEER OR THE OWNER.
14. SEWER AND WATER MATERIALS AND SERVICES MUST BE INSTALLED ACCORDING TO THE CITY OF MIDLAND LATEST STANDARDS RULES AND REGULATIONS FOR THE CONSTRUCTION AND MAINTENANCE OF THESE UTILITIES. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
15. SEWER AND WATER MATERIALS AND SERVICES MUST BE INSTALLED ACCORDING TO THE CITY OF MIDLAND LATEST STANDARDS RULES AND REGULATIONS FOR THE CONSTRUCTION AND MAINTENANCE OF THESE UTILITIES. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
16. COORDINATE DOWNSPOUT LOCATIONS WITH MECHANICAL/ARCHITECTURAL PLANS FOR EXACT LOCATIONS. COORDINATE WITH MECHANICAL/ARCHITECTURAL PLANS FOR SUMP PUMP DISCHARGE PIPE. ALL UTILITY WORK OUTSIDE OF 5' FROM BUILDING SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. COORDINATE WITH PLUMBING CONTRACTOR FOR CONNECTIONS.
17. REFER TO SITE PLAN BY OTHERS FOR COORDINATION AND DIMENSIONS SITE LAYOUT, WALKS, BUILDING AND DUMPSTER ENCLOSURE.
18. PROVIDE ADA ACCESSIBLE RAMPS AT ALL NEW ENTRANCES TO SITE DEVELOPMENT AND AT EACH ROAD INTERSECTION ACCESS, PER CITY OF MIDLANDS LATEST STANDARDS AND DETAILS, IF APPLICABLE.

CONTRACTOR TO PROVIDE TOPSOIL BACKFILL AT ANY NEW EDGE OF BIT AND CONCRETE SURFACES AND EXISTING DISTURBED EDGE OF BIT AND CONCRETE SURFACES AT A MINIMUM 1V:6H TO EXISTING GRADE, UNLESS NOTED OTHERWISE. SEED AND MULCH.

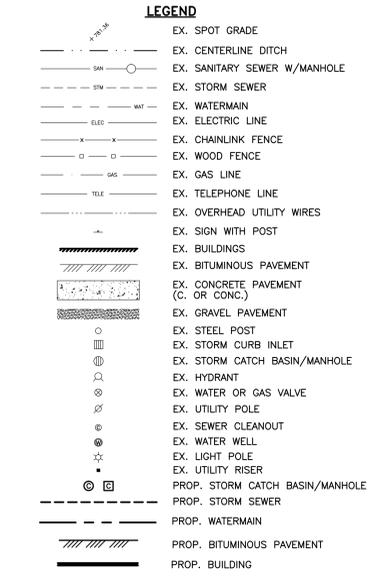
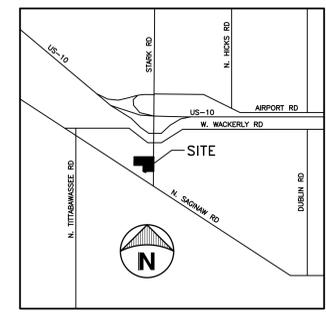


NEW SITE GRADING PLAN
 SCALE: 1" = 30'



DATE	STATUS/REVISIONS

CHECKED BY: JCW
 DESIGNED BY: TAG
 DRAWN BY: TAG
 SCALE: As Shown
 PROJ. #: 16-2302-0021
 DATE: APRIL 2016
 SHEET



STORMWATER & UTILITY NOTES

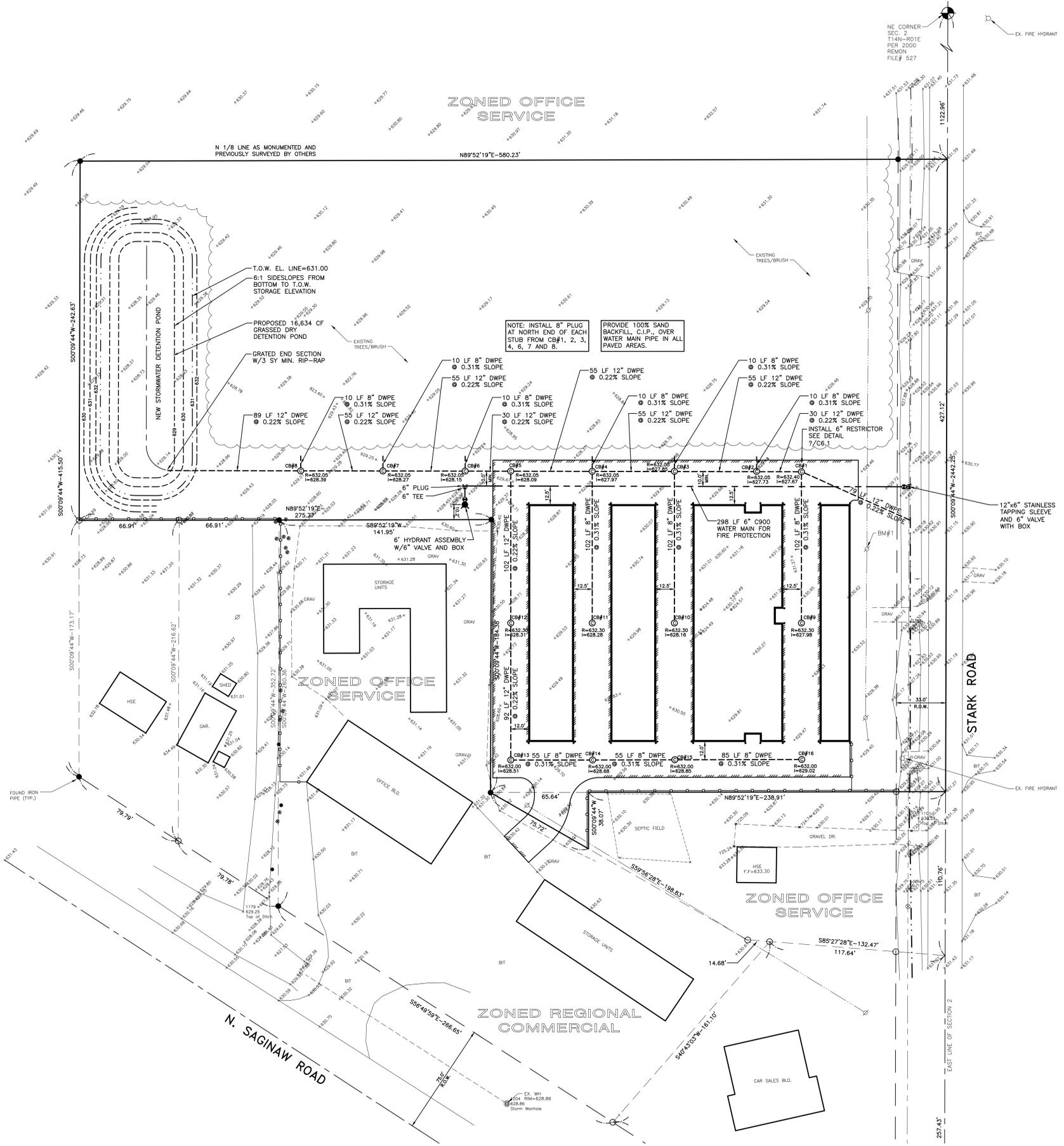
- SEWER AND WATER MATERIALS AND SERVICES MUST BE INSTALLED ACCORDING TO THE CITY OF MIDLAND LATEST STANDARDS RULES AND REGULATIONS FOR THE CONSTRUCTION AND MAINTENANCE OF THESE UTILITIES. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- SEWER AND WATER MATERIALS AND SERVICES MUST BE INSTALLED ACCORDING TO THE CITY OF MIDLAND LATEST STANDARDS RULES AND REGULATIONS FOR THE CONSTRUCTION AND MAINTENANCE OF THESE UTILITIES. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO PROVIDE TOPSOIL BACKFILL AT ANY NEW EDGE OF BIT AND CONCRETE SURFACES AND EXISTING DISTURBED EDGE OF BIT AND CONCRETE SURFACES AT A MINIMUM 1V:6H TO EXISTING GRADE, UNLESS NOTED OTHERWISE.
- MAINTAIN POSITIVE DRAINAGE FLOW ALONG EDGES OF NEW BIT ADJOINING EXISTING BIT SURFACES.
- PROVIDE SOD AT BOTTOM OF POND UP TO TOP OF WATER STORAGE ELEVATION (667.00). HYDROSEED AND MULCH REMAINING POND AREA. PROVIDE FABRIC WEED BLOCK UNDER RIP-RAP AREA.

DETENTION REQUIREMENTS

STORM WATER DETENTION AND OUTLET DESIGN TO MEET THE LATEST CRITERIA FOR CITY OF MIDLAND STANDARDS. STORM WATER DETENTION SHALL BE DESIGNED WITHIN PROPOSED DETENTION POND.
 STORAGE VOLUME REQUIRED = 16,157 CF
 STORAGE VOLUME PROVIDED = 16,634 CF
 RESTRICTOR SIZE = 6" (LOCATED IN CB#1)

STRUCTURE SCHEDULE

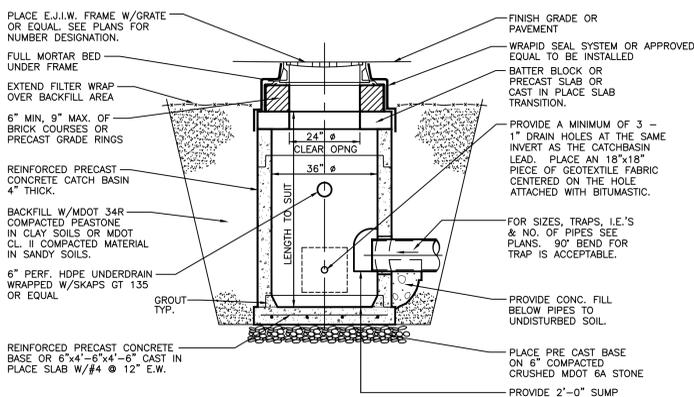
- CB #1**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.40
 INV.8"=627.67
 INV.12"=627.07
 INV.12"SE=627.67 (W/6" RESTRICTOR PIPE. SEE DETAIL 7/C6.1)
- CB #2**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=627.73
 INV.12"=627.73
- CB #3**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=627.85
 INV.12"=627.85
- CB #4**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=627.97
 INV.12"=627.97
- CB #5**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=627.85
 INV.12"=627.85
- CB #6**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=628.15
 INV.12"=628.15
- CB #7**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=628.27
- CB #8**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.05
 INV.8"=628.15
 INV.12"=629.02
- CB #9**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.30
 INV.8"=627.98
- CB #10**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.30
 INV.8"=628.16
- CB #11**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.30
 INV.8"=628.28
- CB #12**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.30
 INV.12"=628.31
- CB #13**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.00
 INV.12"=628.51
 INV.8"=628.51
- CB #14**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.00
 INV.8"=628.68
- CB #15**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.00
 INV.8"=628.85
- CB #16**
 36" PRE-CAST CATCH BASIN W/2'SUMP
 W/ E.J.I.W. CASTING #1040 W/M1 GRATE
 RIM=632.00
 INV.8"=628.85



NEW STORM MANAGEMENT AND UTILITY PLAN
 SCALE: 1" = 30'

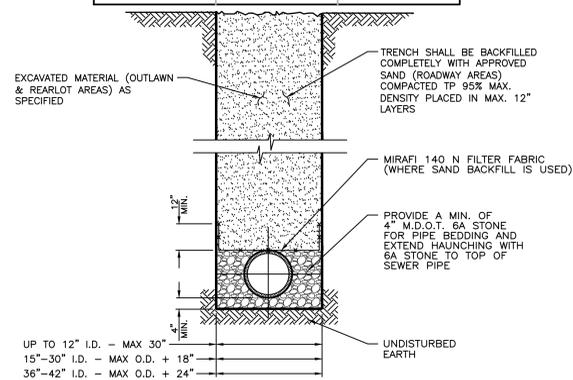


DATE	
STATUS/REVISIONS	
#	
CHECKED BY:	JCW
DESIGNED BY:	TAG
DRAWN BY:	TAG
SCALE:	As Shown
PROJ. #:	16-2302-0021
DATE:	APRIL 2016
SHEET	



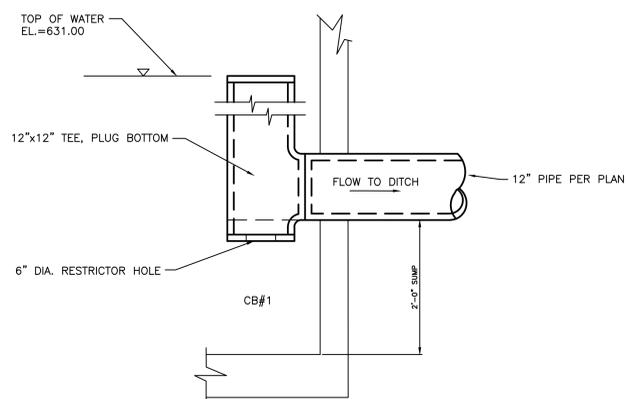
1 TYPICAL CONCRETE CATCHBASIN DETAIL
 C6.1 NOT TO SCALE

PIPE SIZE	TRENCH WIDTH	
	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36" I.D.	I.D. + 20"	I.D. + 24"

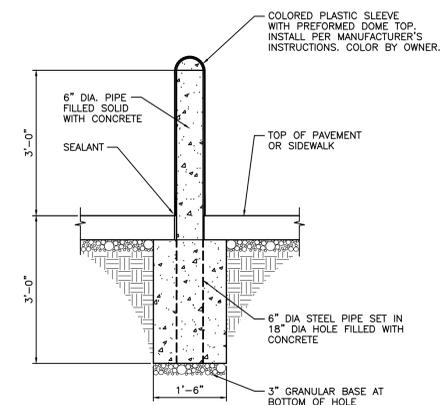


D.W.P.E., H.D.P.E., P.V.C. & A/D 2000, TYPICAL SEWER PIPE TRENCH DETAIL

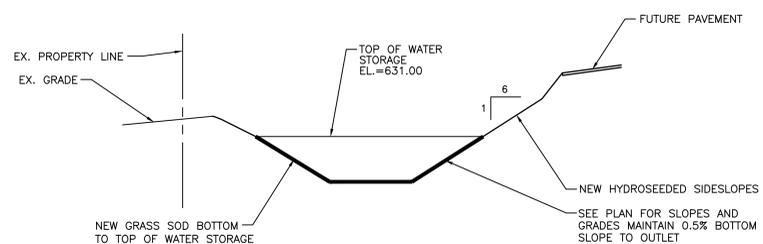
2 C6.1 NOT TO SCALE



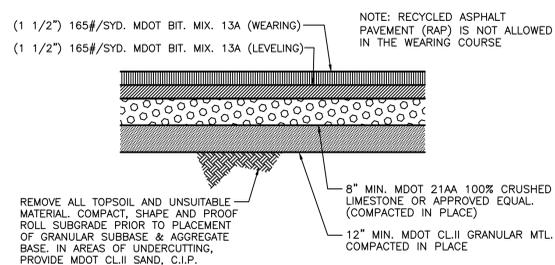
3 RESTRICTOR DETAIL IN CATCH BASIN
 C6.1 NOT TO SCALE



6 TYPICAL PIPE BOLLARD DETAIL
 C6.1 NOT TO SCALE



4 TYPICAL DETENTION POND SECTION
 C6.1 NOT TO SCALE



5 TYPICAL PAVEMENT SECTION REGULAR DUTY AREAS
 C6.1 NOT TO SCALE

Memo



To: Planning Commission Members
From: C. Bradley Kaye, AICP, CFM
Assistant City Manager for Development Services
Date: April 4, 2016
Re: N. Waldo Road – Future Land Use Map Discussion

BACKGROUND:

On April 12, 2016, Planning Staff presented a review of the Future Land Use map designations for the N. Waldo Rd area (see attached report). Following discussion, and again following review of the Primrose zoning petition in this area on April 26, 2016, Planning Commission members generally agreed that further review and consideration of land use designations applicable throughout this area was warranted.

STAFF COMMENTS:

As expressed in the attached report, the nature of development anticipated by the landowners in this area does not appear to require changes to the Future Land Use designations of the Master Plan. That said, discussions of the Planning Commission appear to indicate general support for increased density beyond that currently planned for in the area. With this background, the following options are presented for discussion, comment and general direction:

Option A: No Change

Making no changes to the Future Land Use Map, for reasons outlined in the attached report, remains an option.

Option B: Minor Expansion of the Medium Density Residential Land Use Designation

A minor expansion of the Medium Density Residential designation, the boundaries of which can be discussed but would likely include the Primrose site and additional land near the northeast corner of the current designation (see attached Concept Master Plan Amendments map), is a second available option. This change would have little overall impact or change on the overall planning and anticipated development pattern for this area.

Option C: Expansion of the Medium Density Residential Land Use Designation

A larger expansion of the Medium Density Residential designation would provide additional land suitable for density of up to 10 units per acre. Inclusion of the full 80 acre parcel located east of N. Waldo Rd which includes the current Primrose development project, would be a likely target area for such an expansion (see attached Concept Master Plan Amendments C2). Consideration could also be given to extending this designation north to Kelly Land and E Wackerly Road (not shown on map).

Option D: Expansion of the High Density Residential Land Use Designation

Options for High Density Residential land use in the area is currently limited to two parcels on the west side of N. Waldo Rd. (plus one additional parcel that has not been annexed). Covering only approximately 22 acres, this area does not provide for a great diversity of higher density residential development.

To expand high density residential development options, additional lands could be considered for designation. If so desired, lands east of N. Waldo Rd and generally abutting the Commercial land use designation, would seem most appropriate for this expanded land use designation (see Concept Master Plan Amendments C2). This additional area includes approximately 31 acres. Consideration could also be given to extending this designation to the Primrose site previously considered by the Planning Commission for rezoning.

Option E: Access Management Policies

With any option chosen, access management policies for this area are recommended. Staff is presently working on alternatives for the development of these policies.

STAFF COMMENTS:

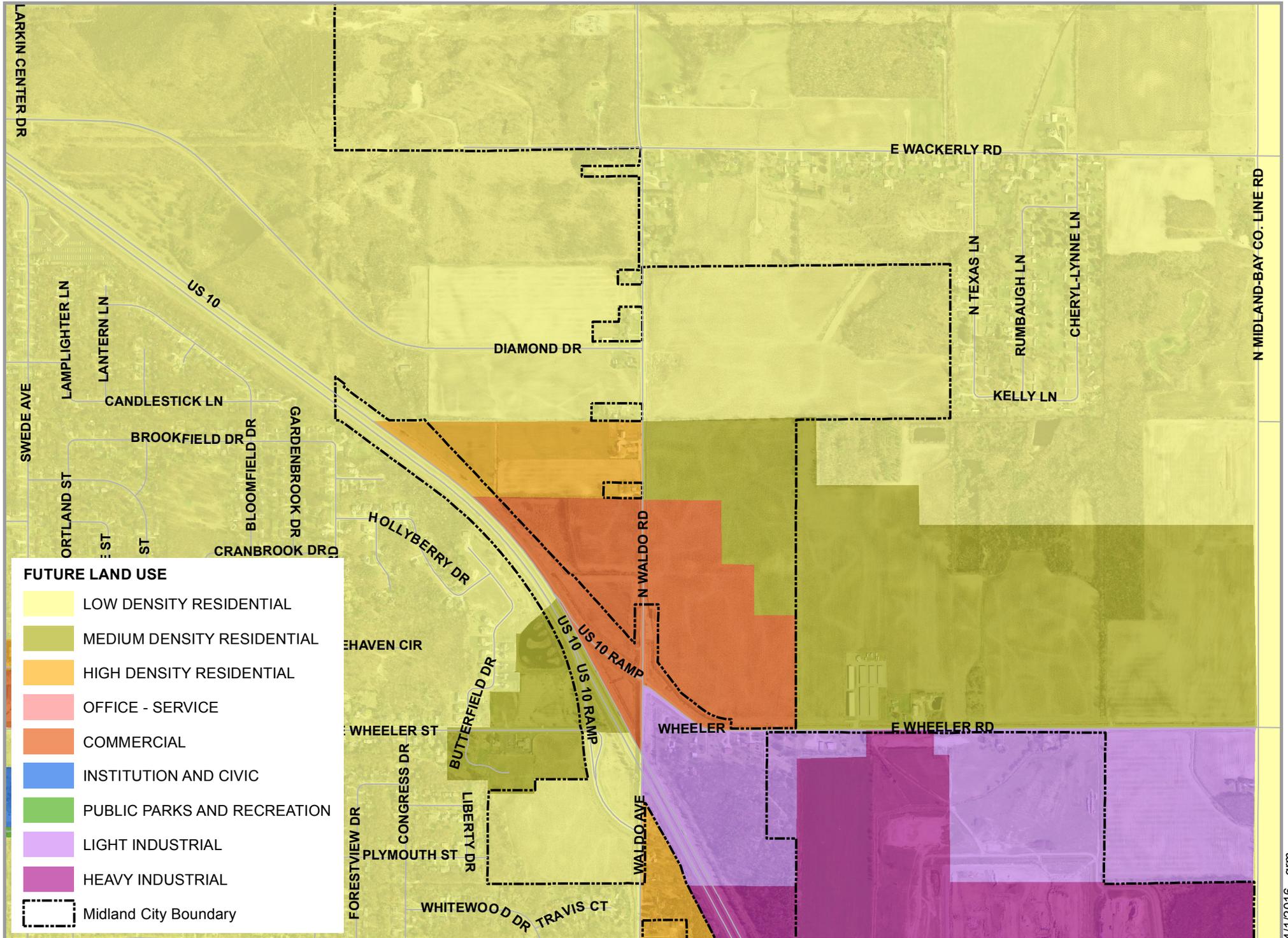
Option E above is a freestanding recommendation and should be pursued regardless of any other direction taken by the Planning Commission. Option A would preclude consideration of the remaining option B-D, inclusive.

Options B, C and D, however, may be chosen in whole or in part, and may also be modified beyond the specifics offered in the staff comments above. At this time, direction is required to advance this process. As such, a full discussion of these options is anticipated at the Planning Commission meeting. Following that discussion, and direction provided by the Planning Commission will be reviewed in greater detail by Planning Staff and a more detailed analysis will be provided at a future meeting date.

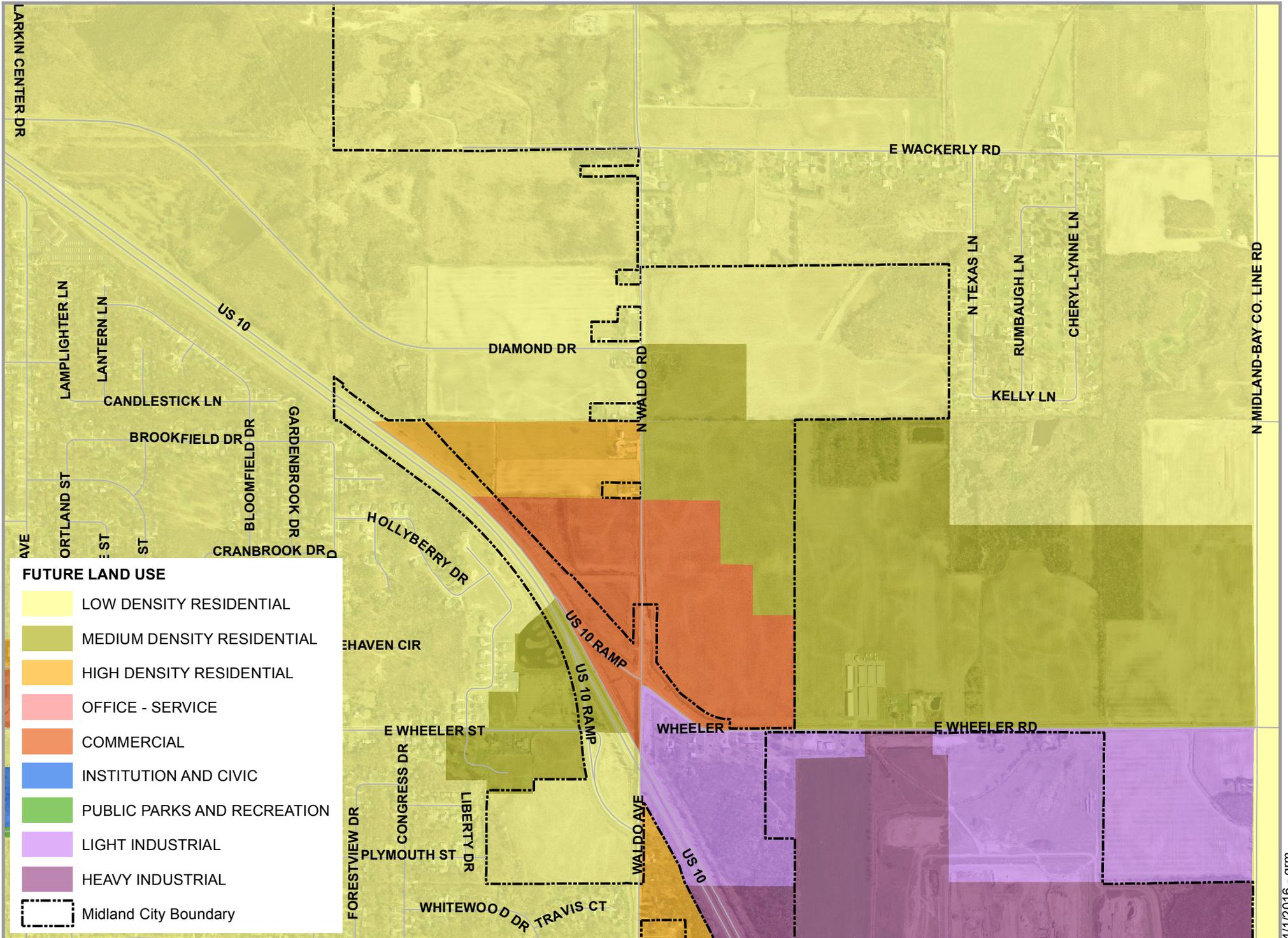
NEXT STEPS:

It is anticipated that the next report on this matter will be presented to the Planning Commission at a regular scheduled June meeting.

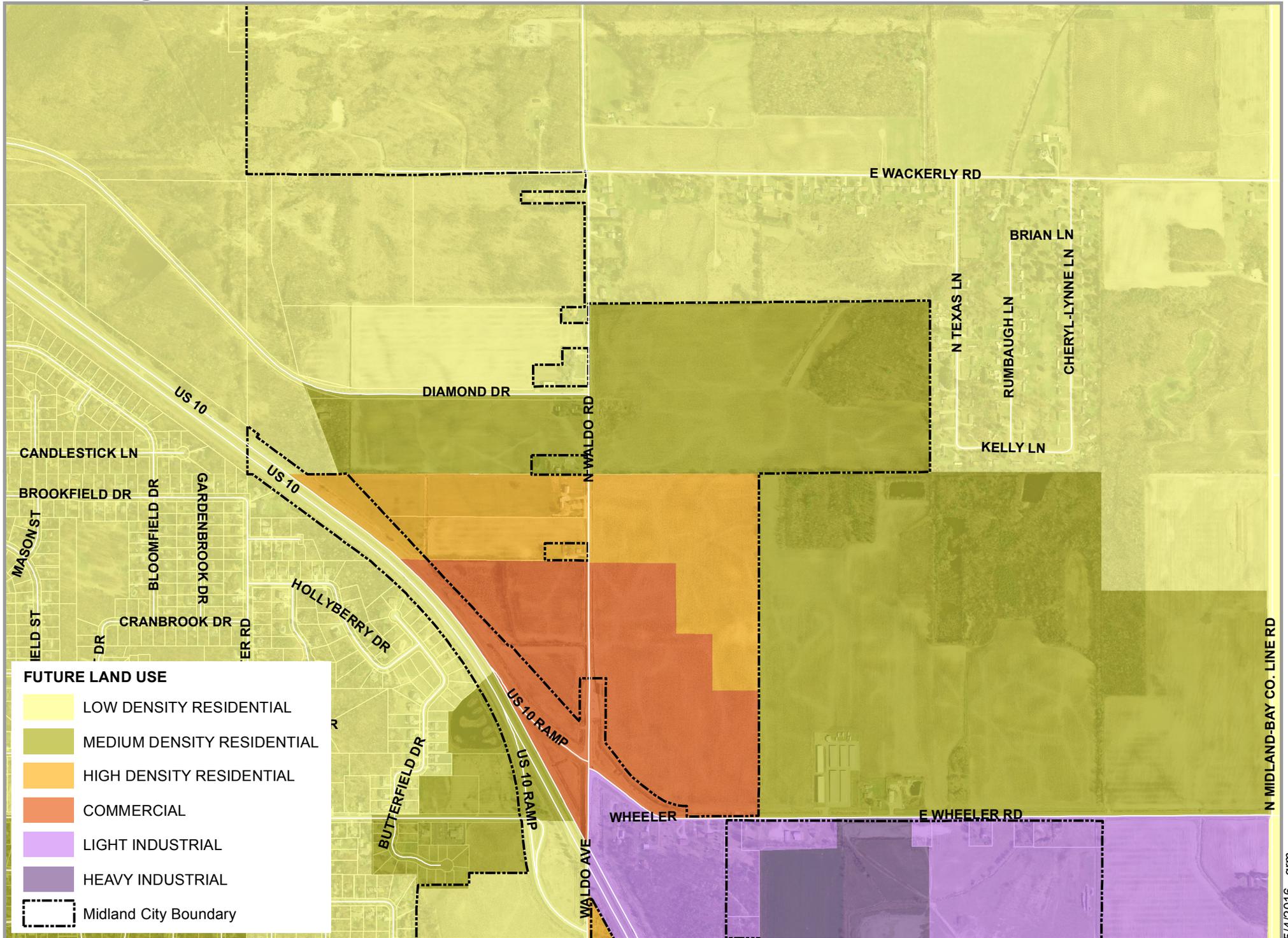
Current Adopted Master Plan North Waldo Area



Concept Master Plan Amendments North Waldo Area



Concept Master Plan Amendments North Waldo Area



Memo



To: Planning Commission Members
From: C. Bradley Kaye, AICP, CFM
Assistant City Manager for Development Services
Date: May 4, 2016
Re: N. Saginaw Road Area – Future Land Use Map Public Feedback

BACKGROUND:

On April 12, 2016, Planning Staff presented a memo and draft recommendations for changes to the Future Land Use Map of the master Plan, as it applies to the N. Saginaw Road area. Following Planning Commission discussion, those proposed map amendments were generally supported and staff was directed to move forward in our Master Plan review process with them. The next step, as noted at that time, was to mail property owners within the subject area, advise them of the changes being considered, and invite them to provide any comments or concerns they may have.

PUBLIC COMMENTS RECEIVED:

Two letters were received, impacting 7022 N Saginaw Rd and 687 Lambert Road. Each is discussed separately below:

7022 N Saginaw Rd – Tod and Valerie McCloy

Valerie McCloy previously spoke to the Planning Commission during our informal public input session held on January 12, 2016. The summary of her comments, as previously presented to the Planning Commission on February 9, 2016, was as follows:

Valerie McCloy – 7022 N. Saginaw Rd

The commercial designation of her property and properties to the east raises concerns about future commercial development. She is concerned as to how such development will impact her own property value.

The Staff response to Mrs. McCloy's comments was presented on April 12, 2016, and read in part as follows:

6715 Herbert Rd and 7022 N. Saginaw Rd.

Michael Dennett and Valerie McCloy spoke regarding the above properties (single family dwellings) and their concerns about adjacent commercial development. In each case, these properties represent the furthest extent of an existing Commercial land use designation. Having reviewed each of these properties, staff is not able to recommend changes to the adjacent commercial properties but is able to consider a change affecting the properties themselves.

Regarding 7022 N. Saginaw Rd, this property is the western extent of the Commercial designation on the north side of the road. As above, there is little impact on the Master Plan should this property be redesignated. In this case, a change to Medium Density Residential could be considered, consistent with the land use designation that applies to the north and the west. Consultation to determine the landowner's preference is also recommended for this property.

Upon review of the letter from Mr. and Mrs. McCloy, the apparent concern is what restrictions if any would be placed on the continued use of their existing single family dwelling. Such restrictions are not, of course, placed upon a property by the Master Plan, but instead are placed on a property through zoning. As such, many of the concerns expressed are not directly applicable to the master plan process we are now undertaking.

Having said the above, it is apparent that the property owners wish to maintain their property for single family residential purposes and perceive that use continuing into the foreseeable future. A change in designation from Commercial to Medium Density Residential would therefore be appropriate. The adjacent Medium Density Residential designation to the north and west, as well as the mix of High and Low Density Residential designations proposed south of N. Saginaw Rd, would also be considered appropriate and compatible with such a change.

687 Lambert Rd – William, Jerri, Matthew and Daniel Liphard

The Liphard's property lies on the west side of Lambert Rd and is not within the corporate limits of the City of Midland. Their letter expresses concerns about annexation to the city and a preference to retain this property for private recreational purposes.

As expressed in previous staff reports and at the informal public input session held in January, the purpose of this master plan exercise is to provide for land use policy on lands both within and outside the current city limits. These policies, as they cover lands beyond the current city limits, would only take effect if those lands were to be annexed. Pursuant to the Midland Urban Growth Area (MUGA) and Urban Cooperation Agreements entered into between the city and surrounding townships, annexations are a voluntary process that must be initiated at the request of the landowner. The city does not initiate such requests. Thus, should the landowners desire to remain under the jurisdiction of the township, they may do so by simply not requesting annexation. Township land use policy and zoning regulations would then continue to apply to their property, as they currently do.

In light of the above, the Low Density Residential land use designation proposed for this area remains appropriate.

ACCESS CONTROL:

As previously noted, the introduction of higher density residential development and additional commercial development opportunities present concerns about impact on N. Saginaw Rd. As currently built, this road is not designed for multiple driveway access points without significant impact on the traffic utilizing this road. As such, staff recommend that access management policies be considered. Development of these policies will now proceed.

NEXT STEPS:

Draft Master Plan amendments, including access management policies for this N. Saginaw Rd area, will now be prepared in more formal form. It is anticipated that this amendment will be presented to the Planning Commission in June for final review prior to forwarding to City Council and the public for review, comment and ultimate adoption.

RECEIVED
MAY 02 2015
PLANNING DEPT

To: City of Midland Planning Department

From: William, Jerri, Matthew & Daniel Liphard, Property Owners

Regarding: 687 Lambert Road, Midland MI

Planning Department,

We wish our property at 687 Lambert Road remain in the county. We own 11 acres and bought it for the relaxation that 'county' provides to you.

We do not wish to have city amenities since all of the property is in the flood plain with impassable roads when the river floods. To carry flood insurance on a household makes building almost impossible.

Because of this, we do not plan to use this land for anything more than recreation and do not wish to have it annexed into the city.

The typical 'city' offerings do not even apply in this area as the river floods and I do not see the city fixing this problem so we could actually use this land as if it was any other part of the city that reaps the full benefits that the taxes provide.

Unless you can think of a way to provide us the same level of services year round that the other city areas benefit from, we don't want the taxes for property that is not usable 3 months out of the year- actually we still wouldn't want to be annexed into the city if you could figure out how to stop the river from flooding because we want the county benefits.

Please do not hesitate to call if you have questions.

William, Jerri Liphard / Matthew / Daniel
William, Jerri, Matthew, Daniel Liphard

RECEIVED
MAY 03 2016
PLANNING DEPT

May 3, 2016

City of Midland Planning Department
333 West Ellsworth St
Midland MI 48640

Dear Planning Department,

We are the land & homeowners located at 7022 N. Saginaw Rd, Midland MI 48642. The planning department is proposing rezoning our property into Commercial from its present zoning of Low Density Residential.

Prior to this change taking place, we have some questions that we would like to have addressed. A few of them are:

- What would be the impact on our property taxes as per Proposal A?
- Would we be able to continue to inhabit our home for its current residential purpose?
- Would we be able to sell our home to someone else desiring to live there as a residence?
- Would we be able to do a future refinance or mortgage our property as a single-family residence?

Per the notice dated April 5, 2016, the memo states that another consideration may be to rezone the home/property to be consistent with the proposed rezoning of the land immediately to our North & West, thus being Medium Density Residential. If this were to happen, the questions we have include:

- What will the impact be on our property taxes?
- What, if anything, would the impact be for resale of our home/property?
- Would the zoning be apt to change again upon the sale to the new owners?

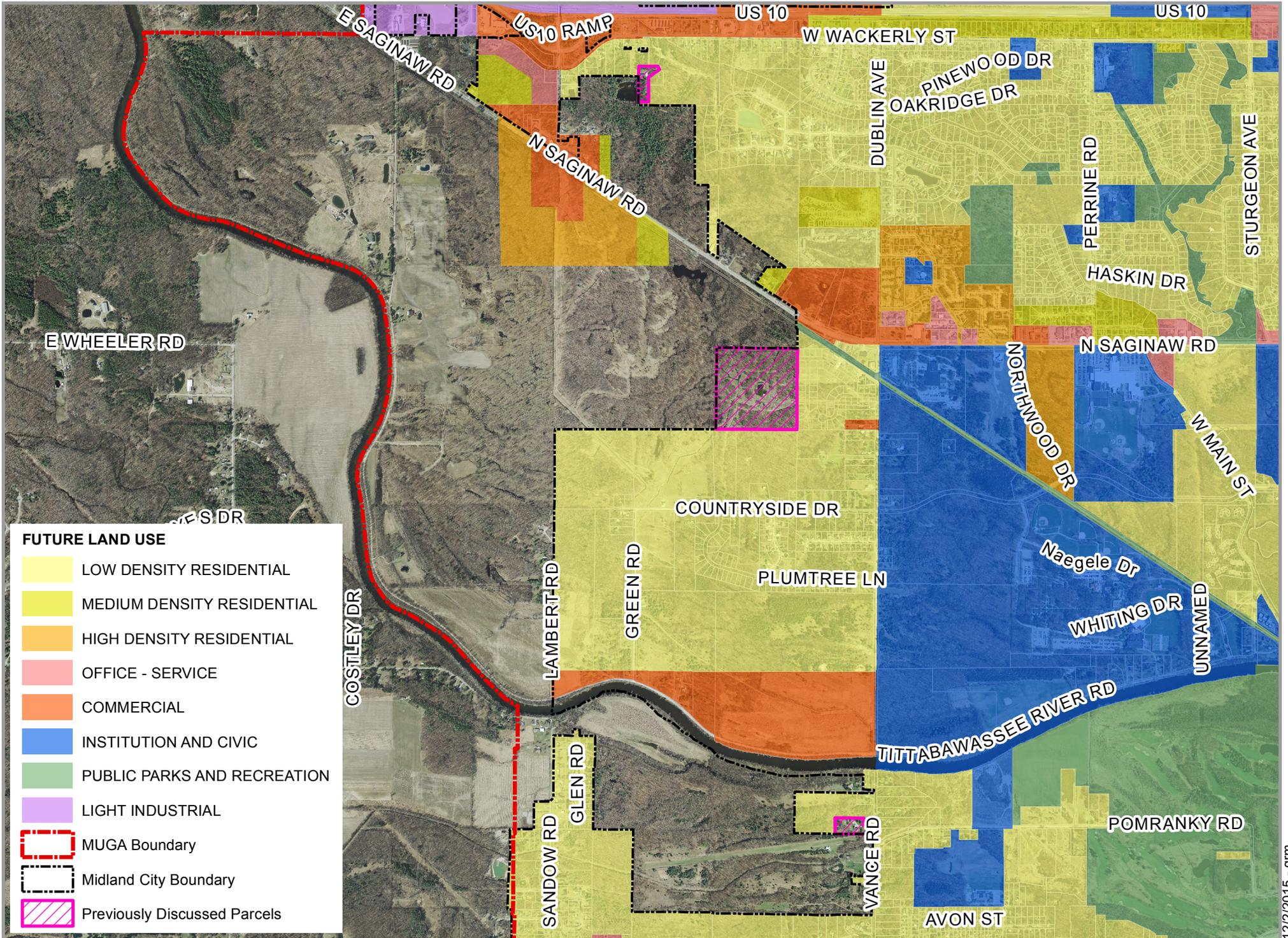
We are requesting that our home/property remain zoned as it currently is: Low Density Residential. We feel this would be the best present & future use of the property.

Thank you for your consideration of our request.

Tod + Valerie McCloy

Tod & Valerie McCloy
989-915-1421
7022 N Saginaw Rd
Midland MI 48642

Current Adopted Master Plan West End to MUGA



FUTURE LAND USE

- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- OFFICE - SERVICE
- COMMERCIAL
- INSTITUTION AND CIVIC
- PUBLIC PARKS AND RECREATION
- LIGHT INDUSTRIAL
- MUGA Boundary
- Midland City Boundary
- Previously Discussed Parcels

Memo



To: Midland City Planning Commission

From: C. Bradley Kaye, AICP, CFM
Assistant City Manager for Development Services

Date: May 4, 2016

Re: Master Plan – Summary of Parcels Subject to Future Land Use Designation Review

On April 26, 2016, Planning Staff was asked by the Planning Commission to bring forward a list of all properties/areas under consideration for changes to their Future Land Use designations in the City of Midland Master Plan. The following list is provided in response to that direction.

In general, the properties below fall into one of two categories: 1) properties that have been annexed into the City and do not have a current designation applied to them; or 2) properties that have been subject to or were located adjacent to an application for rezoning that identified a need for review of their designation. A quick summary of each parcel/area is presented in the chart below.

Location	Property Owner	Parcel Acreage	Parcel History	Master Plan Designation	Proposed Designation
Category 1 – Annexed parcels without current Future Land Use Map designation					
5600 Falcon Way	Lyons	40	Annexation behind Hawks Nest	Not designated	Low Density Residential
1111 Vance Road	Steve Carrick	3.5	Annexation of single lot	Not designated	Low Density Residential
6309 W Wackerly	Hellebuyck	2.53	Annexation of single lot	Not designated	Low Density Residential
Category 2 – Properties Subject to or Adjacent to Recent Planning Application					
4710 Eastman	4710 Eastman Road LLC	0.9	Adjacent to Wal-Greens – proposed RC zoning	Commercial	Office-Service
6001-6205 Woodpark Dr	Multiple Owners	10 separate parcels	Adjacent to proposed rezoning for Tim Horton's	Office-Service	Low Density Residential
2803 Orchard Dr	Dahlia Hill	0.5 (part)	Proposed COM zoning	High Density Residential	Institutional and Civic

401 W Indian St	Robert and Dana Murray	0.14	Portion recently sold by City	Medium Density Residential and Downtown	Downtown
4203 W Main St	Northwood University	30	Proposed COM zoning	Multiple Designations	Institutional and Civic
N Saginaw Rd	Multiple owners	Undefined	Proposed RC zoning	Multiple Designations	Unknown
N Waldo Rd	Multiple owners	Undefined	Future Growth Area	Multiple Designations	Unknown
N Eastman Avenue	Bennett Construction	Undefined	Proposed RC zoning	Multiple Designations	Unknown

Of the above, all proposed land use designations have been discussed to varying degrees by the Planning Commission. Where tentative decisions have been made, the proposed land use designations have been identified and listed. Where no tentative determinations have been made, the proposed land use designation(s) have been identified as unknown. Of those, both the N. Saginaw Rd and N. Waldo Rd areas are actively being discussed under separate report. The one area that no active discussion is taking place on is the N. Eastman Ave area. A short discussion of this area therefore follows.

N. Eastman Ave – Bennett Construction

The last consideration of this parcel occurred in November of 2014. At that time, it was recommended that a review of the Future Land Use map for this area take place. This review was directed in response to a request for RC rezoning by Bennett Construction across the property frontage at 9203 N Eastman Ave to a depth of 250 ft. As the Future Land Use Map identifies this area for Medium Density Residential purposes, that rezoning request was denied.

The area in question is isolated from the northern commercial area of the city by City Forest, the Midland County Fairgrounds, and Barstow Airport. It therefore cannot be considered a logical extension of the commercially planned area generally running between Eastman Avenue and Jefferson Avenue along Joe Mann Boulevard. Lands lying east of N Eastman Ave are planned for Light Industrial purposes but remain outside the city limits at this time.

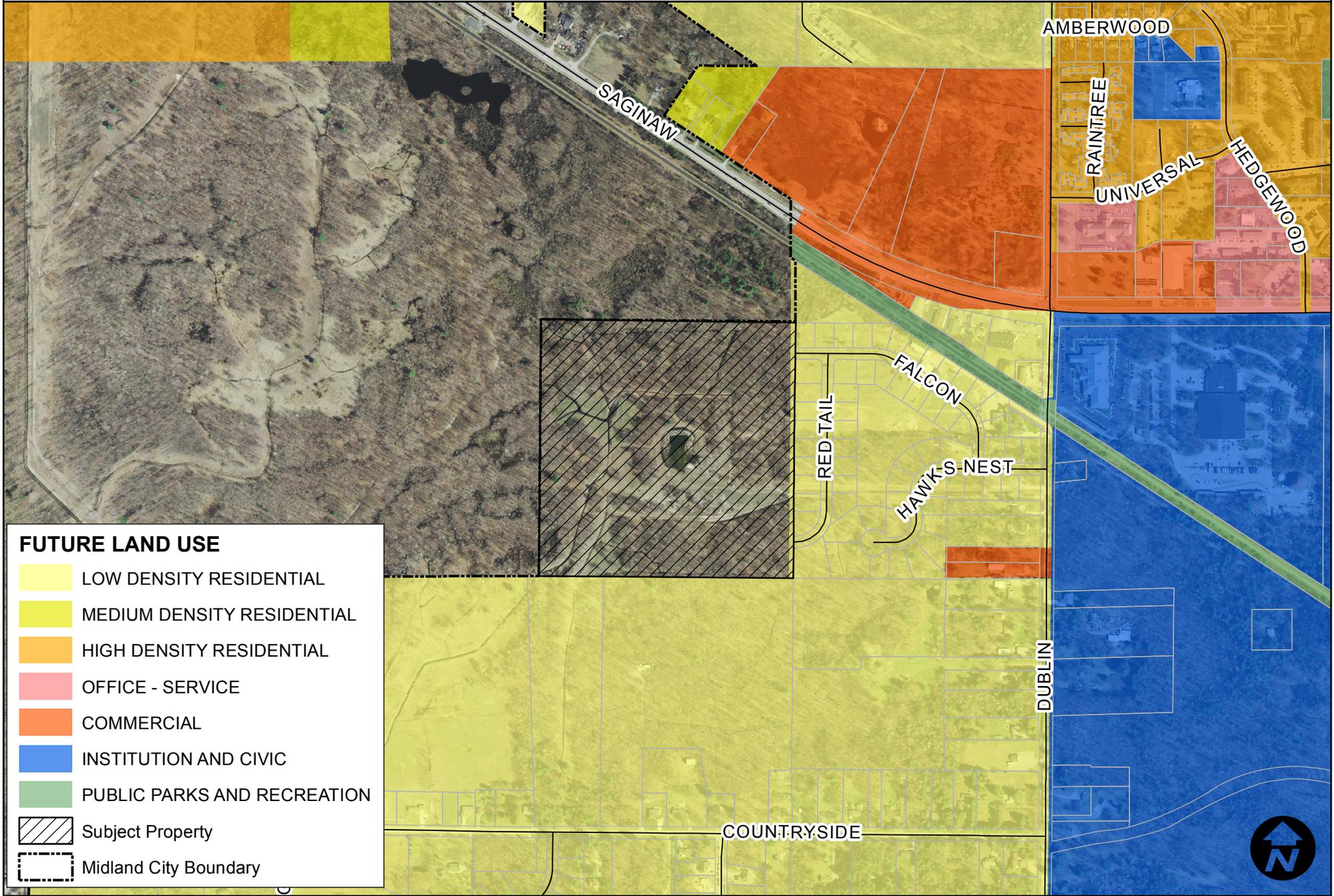
Considering the above, the request for Commercial designation of the Bennett parcel must therefore take place within the context of an isolated commercial node rather than an extension of any existing planned commercial area. In this light, there appears to be little justification for an expansion of the small, compact Commercial designation that already exists in the area. While the applicant contends that the Eastman Avenue frontage should be allowed to develop for commercial purposes, this same argument could be applied to any parcel along this corridor. Instead, it would appear that the Medium Density Residential designation already applied to the parcel is the most appropriate form of development for the area and for the larger parcel of which it remains a part.

Should any expansion of the existing Commercial designation be considered, Planning Staff would recommend that the lands at the immediate intersection of Eastman Avenue and Monroe Rd are the most appropriate for such consideration. These lands provide the most readily accessible access from the public street system, are located

immediately adjacent to existing commercial development, and would maintain the clustered node form of commercial land use currently planned for. Stretching the Commercial land use designation southerly along Eastman Avenue would neither further this clustered development form nor minimize traffic impacts on Eastman Avenue and is therefore not recommended by staff.

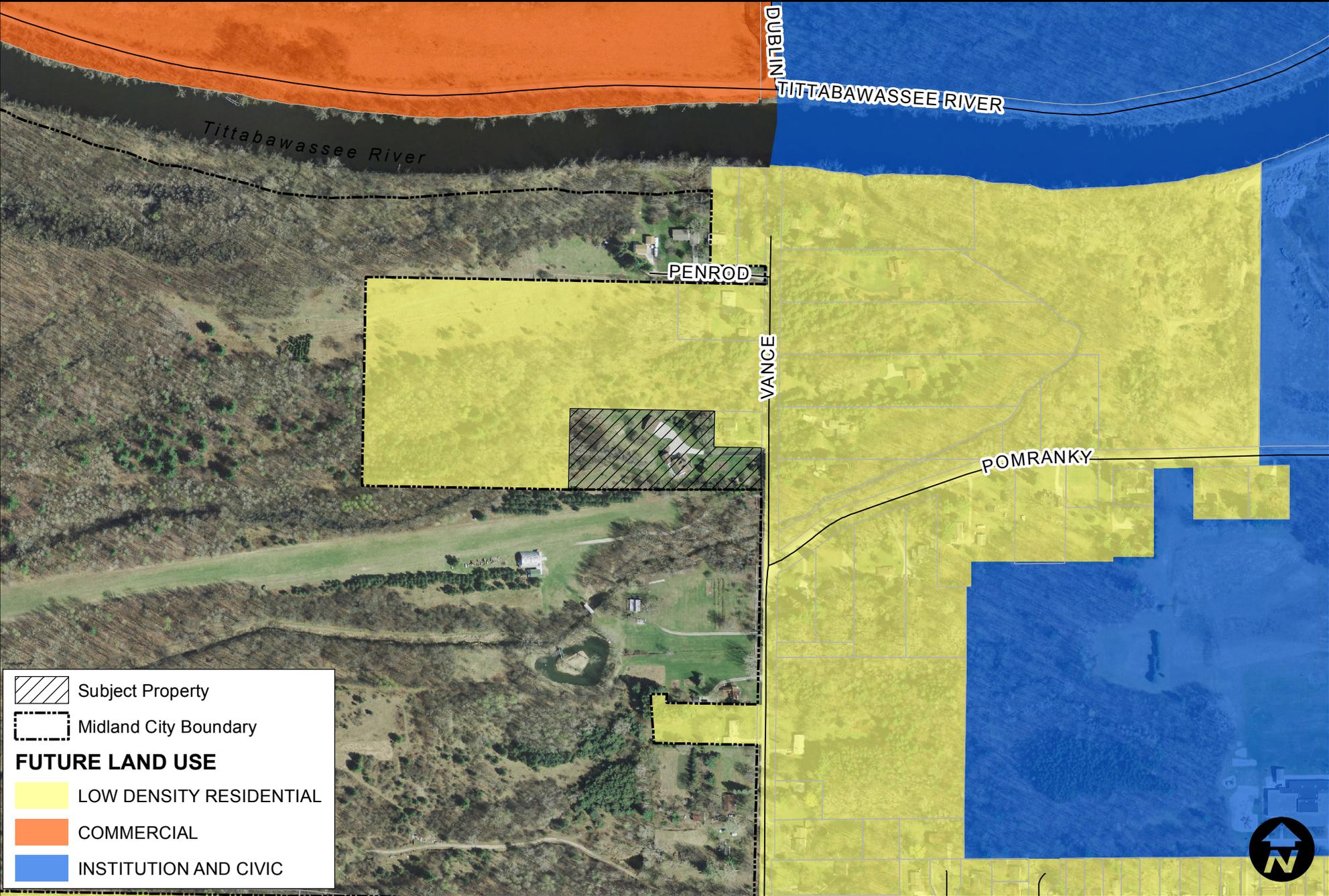
ZP #594 - Lyons - 5600 Falcon Way

Township Zoning to Residential A-1



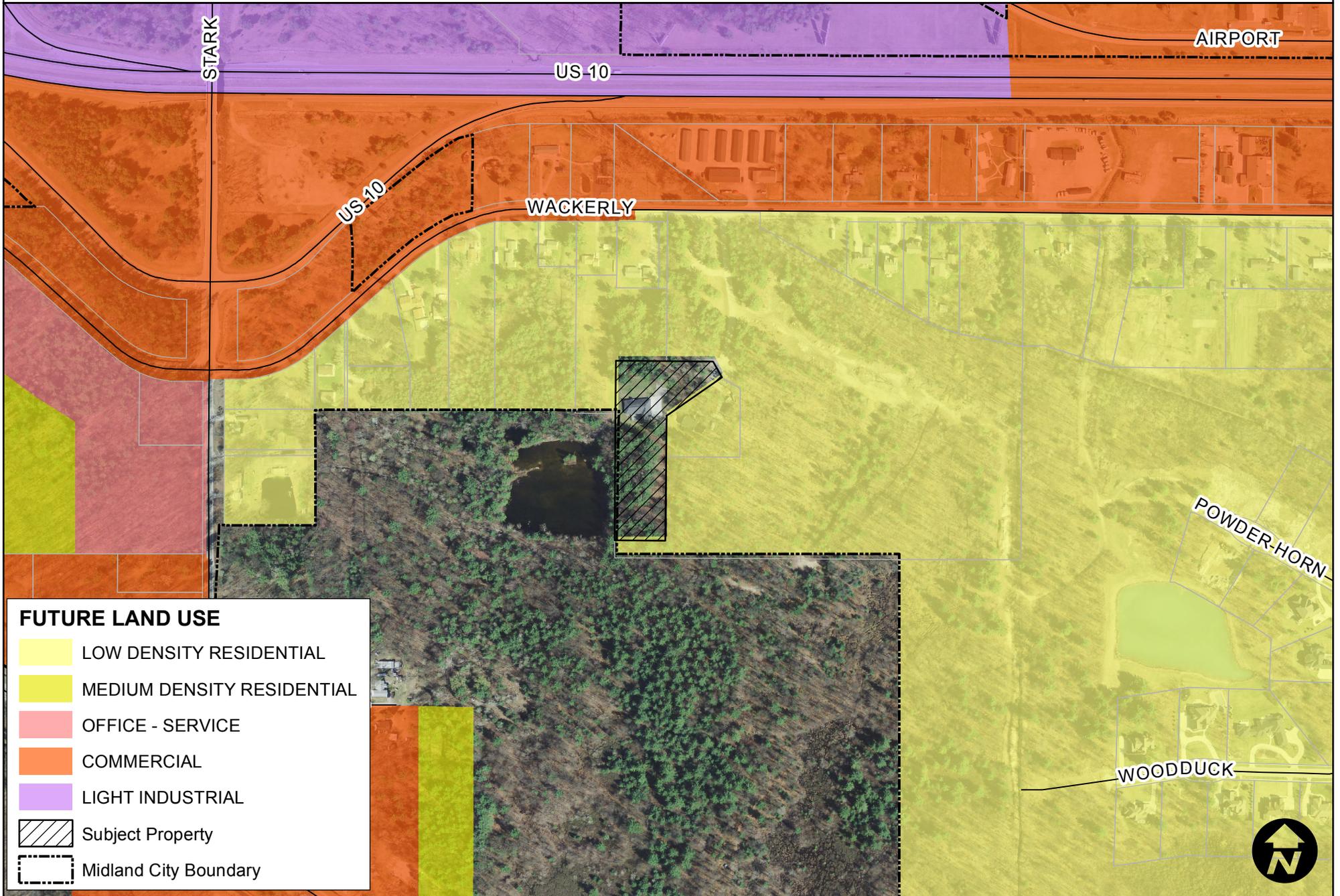
ZP #595 - Carrick - 1111 Vance Road

Township Zoning to Residential A-1

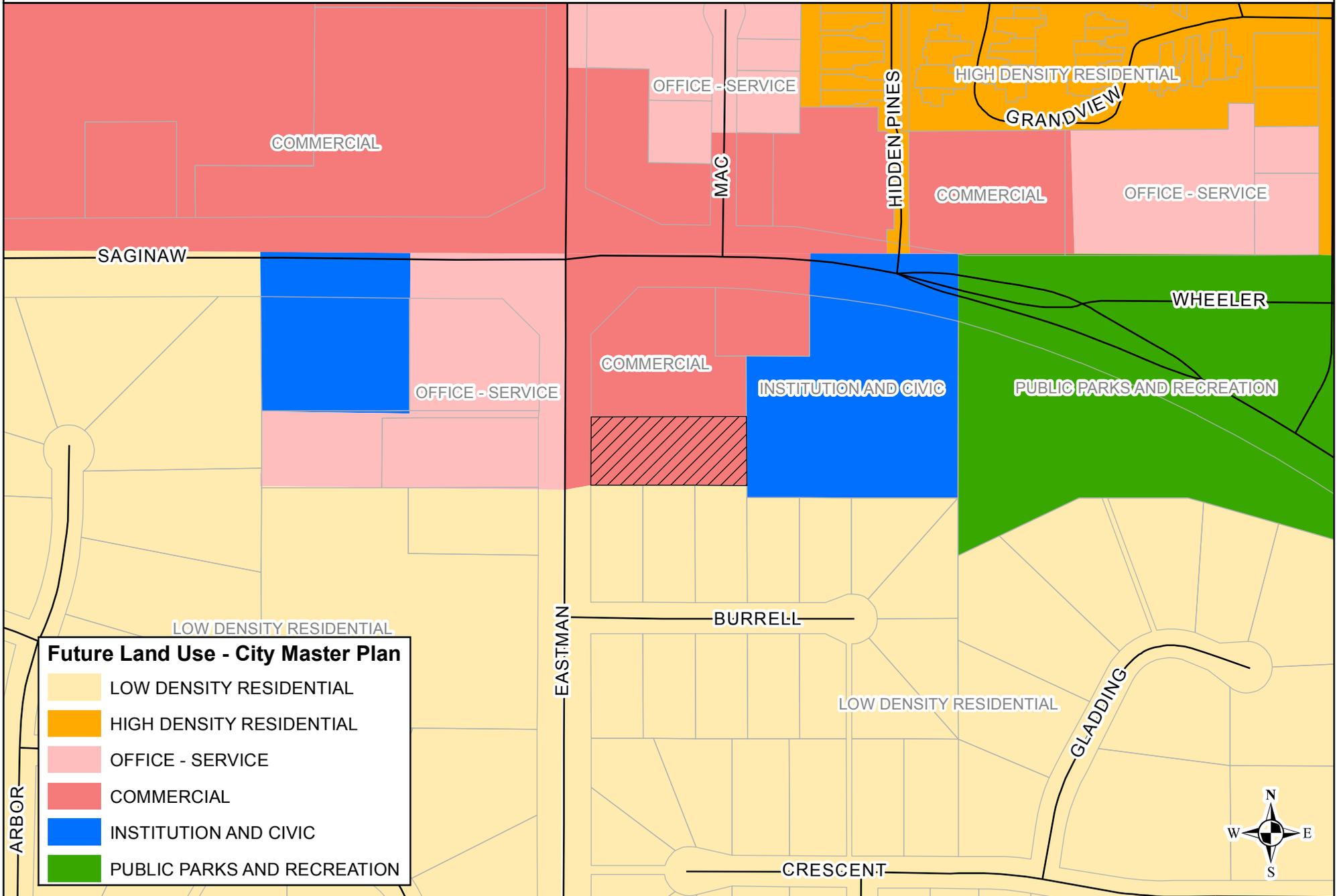


ZP #596 - Hellebuyck - 6309 W Wackerly Street

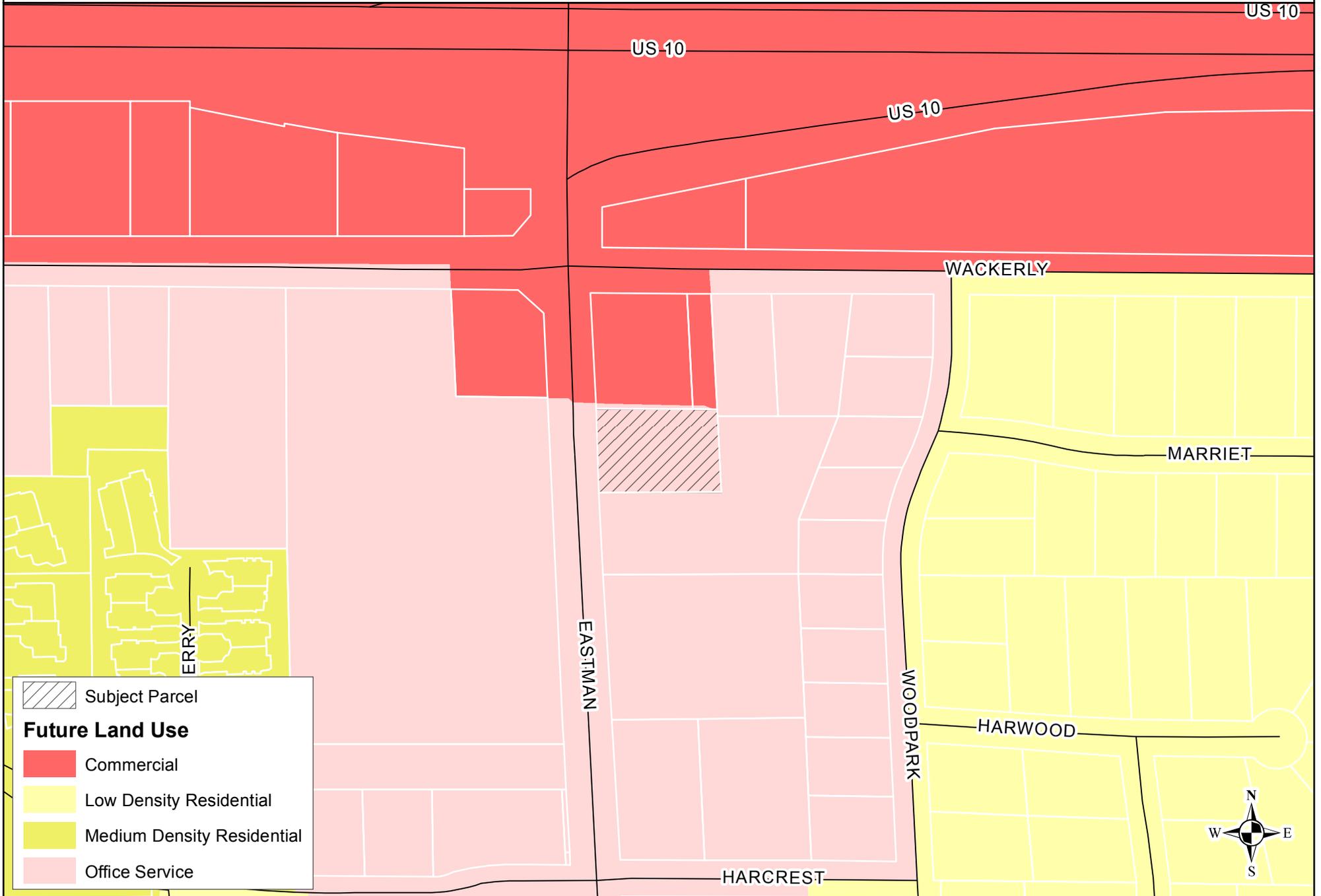
Township Zoning to Residential A-1



ZP #586 - Wirt-Rivette Group - 4710 Eastman Avenue - OS to RC



ZP #589 - Tim Hortons - 6200 Eastman - OS to RC



LEGEND

- ROADS
-  CITY BOUNDARY
-  CITY PARCELS
-  MUGA
-  RAILROAD
-  WATER

FUTURE LAND USE

DESCRIPTIONS

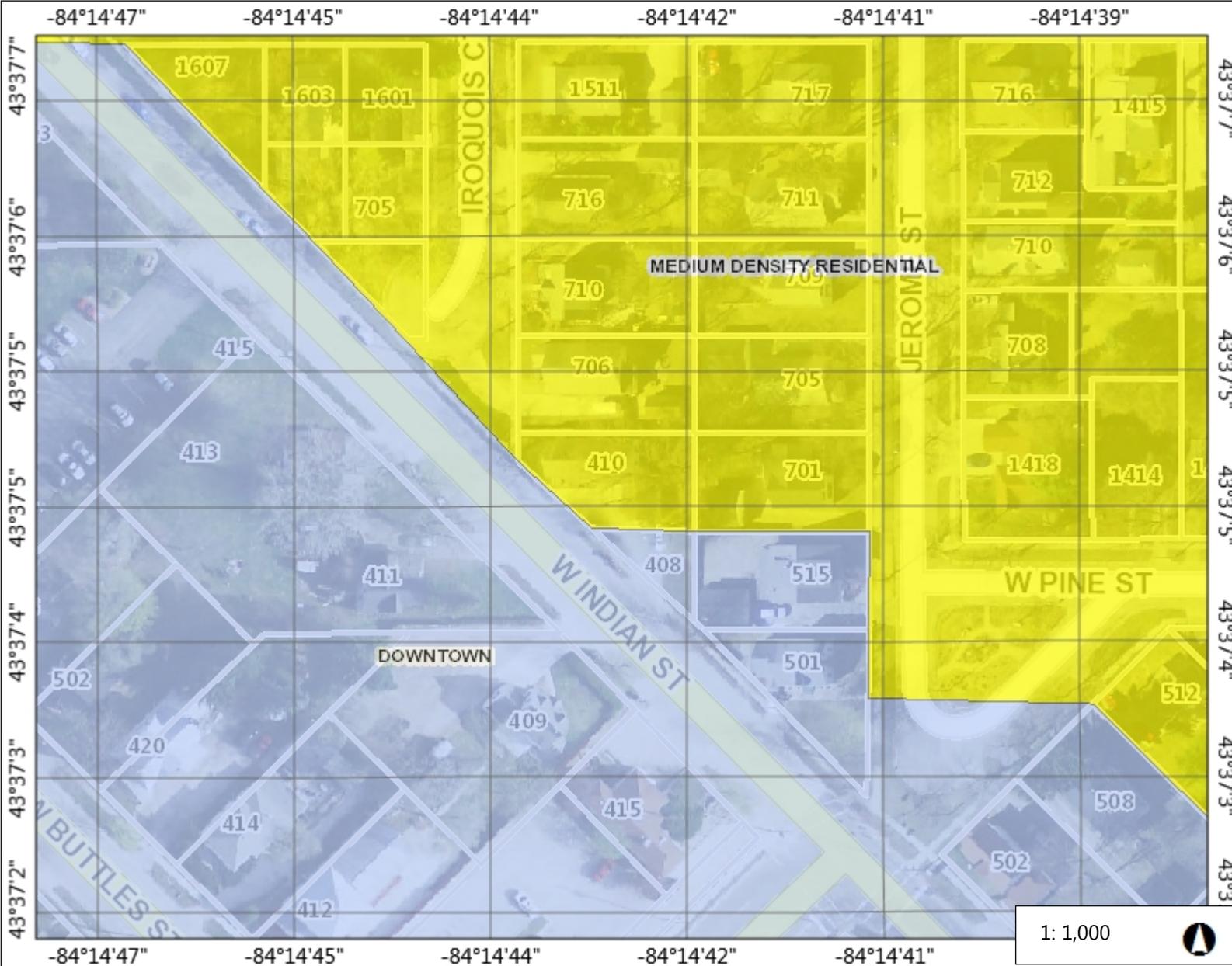
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  HIGH DENSITY RESIDENTIAL
-  OFFICE - SERVICE
-  COMMERCIAL
-  DOWNTOWN
-  MULTI-USE CENTER
-  PRIVATE RECREATION
-  PUBLIC PARKS AND RECREATION
-  INSTITUTION AND CIVIC
-  LIGHT INDUSTRIAL
-  HEAVY INDUSTRIAL

N



CREATED: 5/1/12





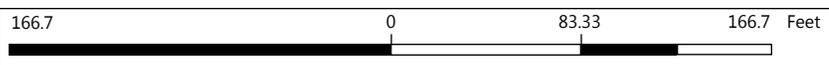
Legend

Future Land Use

- COMMERCIAL
- DOWNTOWN
- HEAVY INDUSTRIAL
- HIGH DENSITY RESIDENTIAL
- INSTITUTION AND CIVIC
- LIGHT INDUSTRIAL
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- MULTI-USE CENTER
- OFFICE - SERVICE
- PRIVATE RECREATION
- PUBLIC PARKS AND RECREATIC

- City Boundary
- Address Points
- Tax Parcels

1: 1,000



NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Intl
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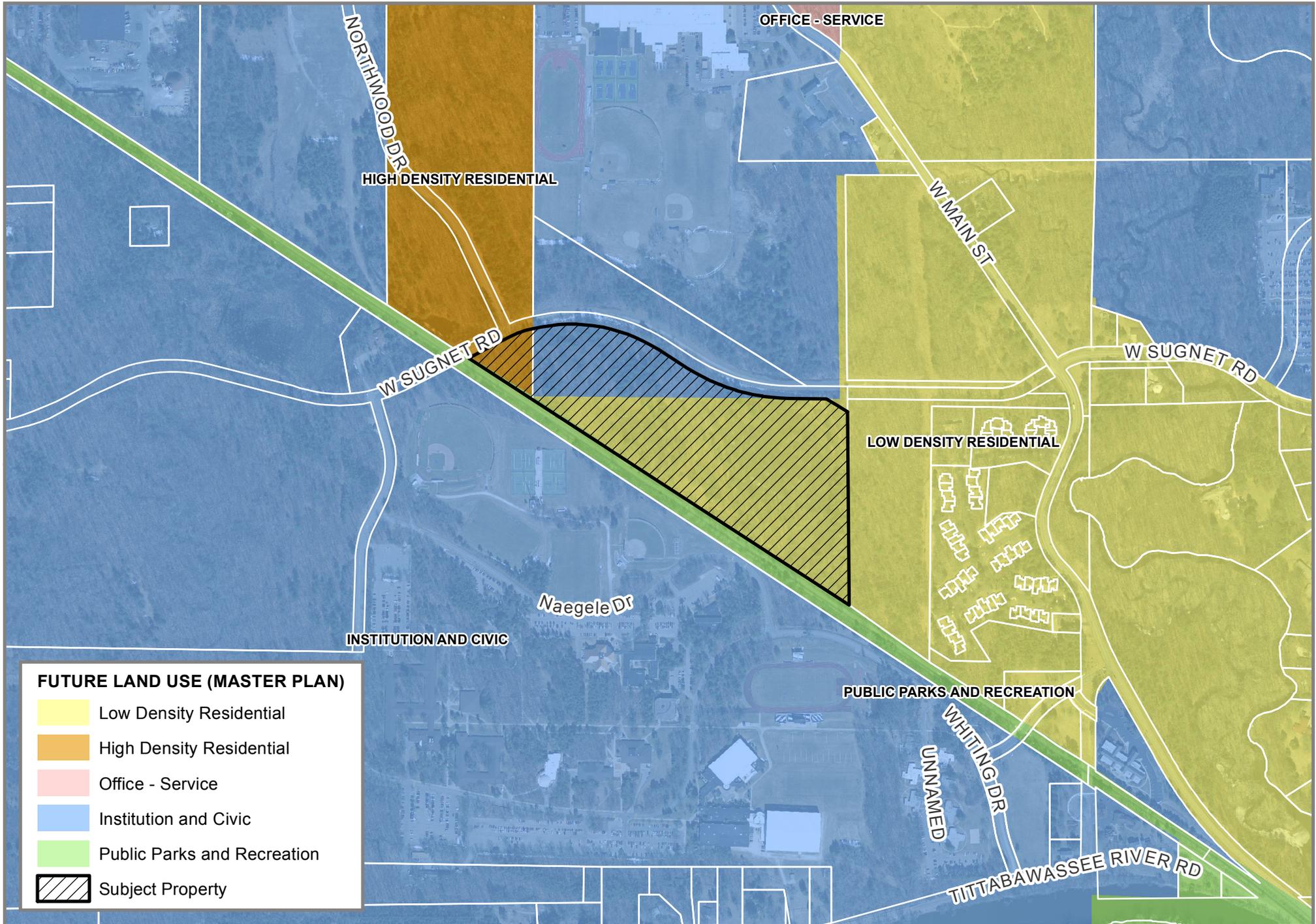
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Notes

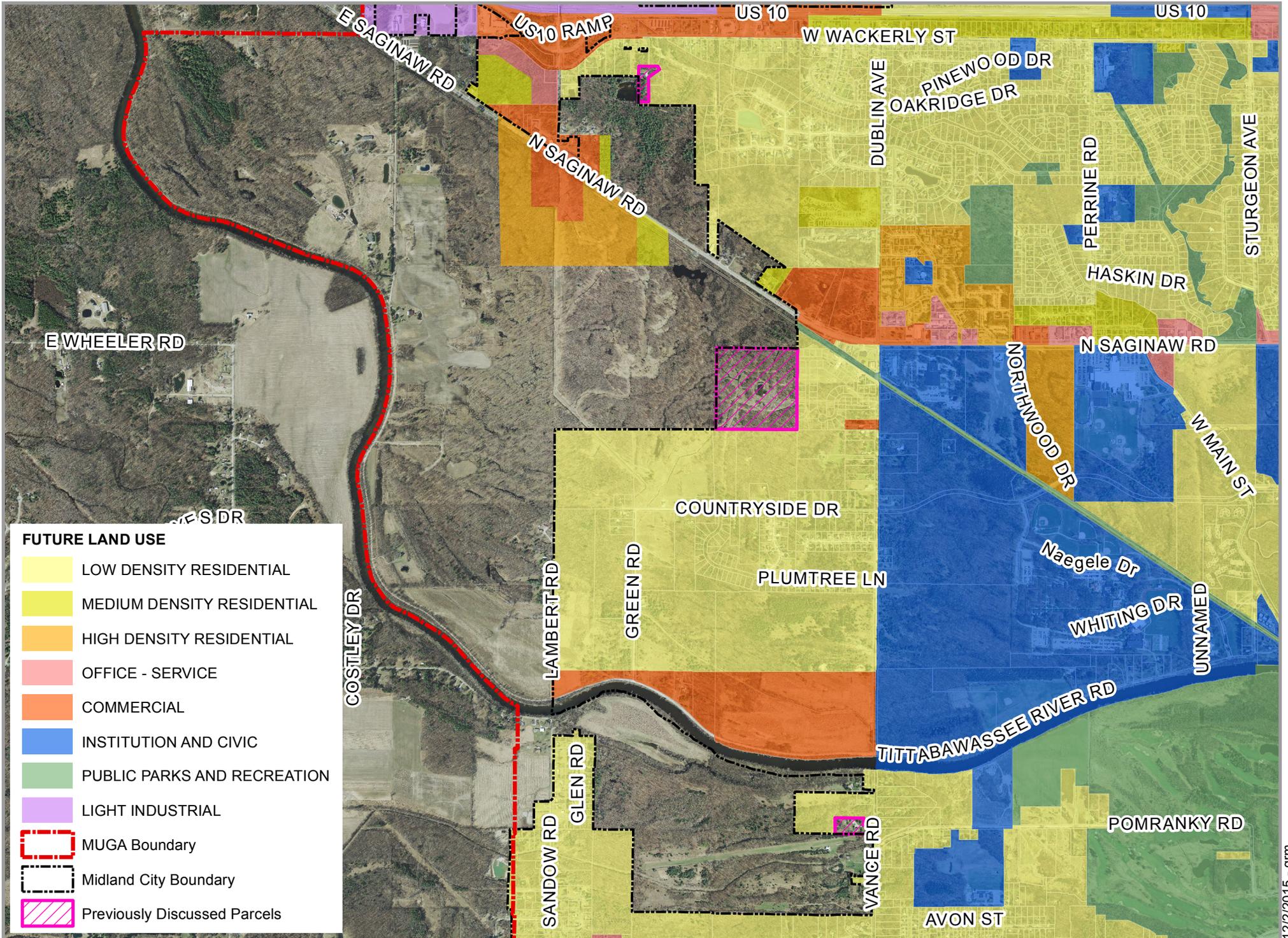
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ZP #606 - RB & RA-1 Residential to COM Community

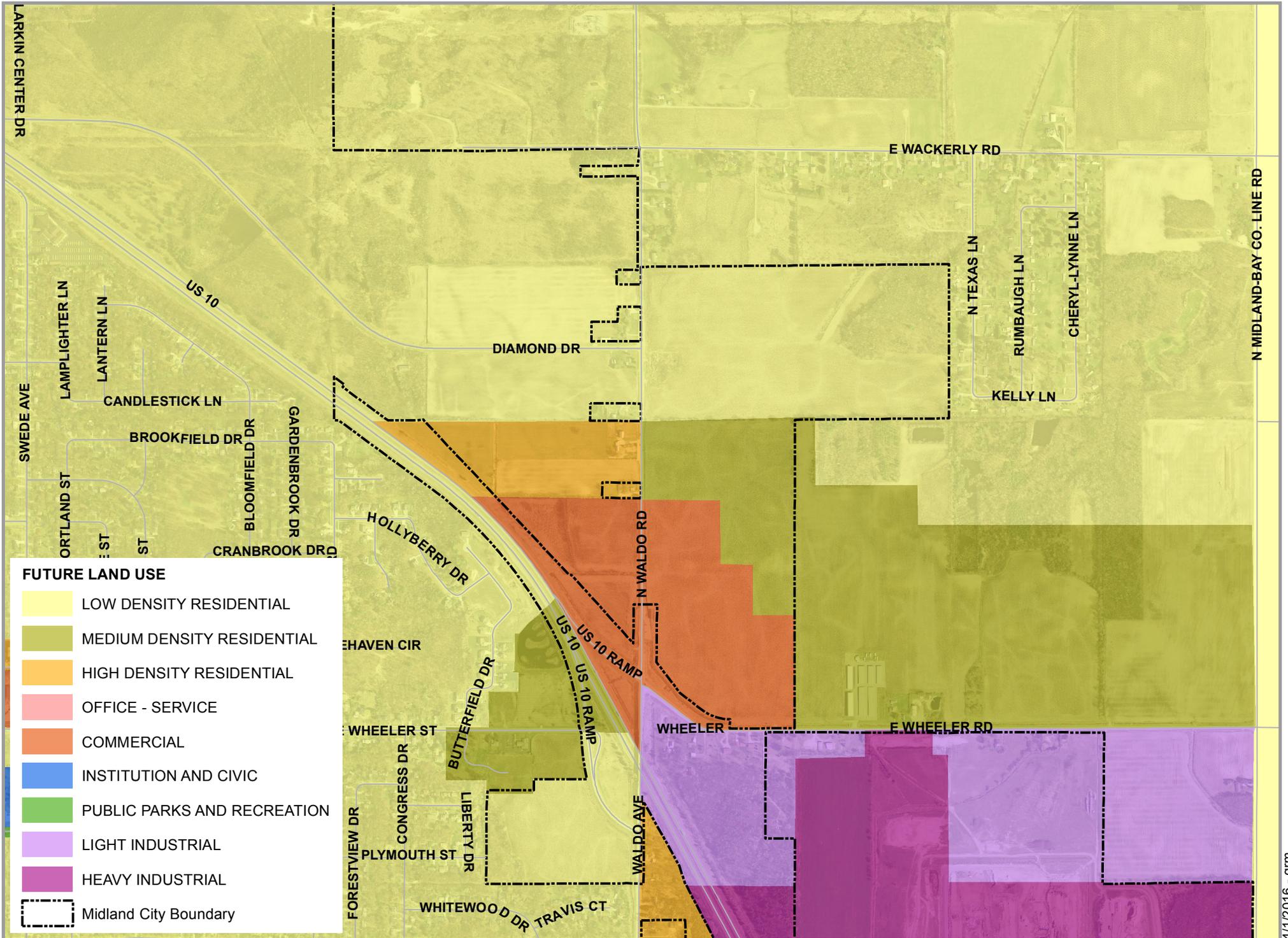
> 4203 W. Main Street - Tower Pinkster

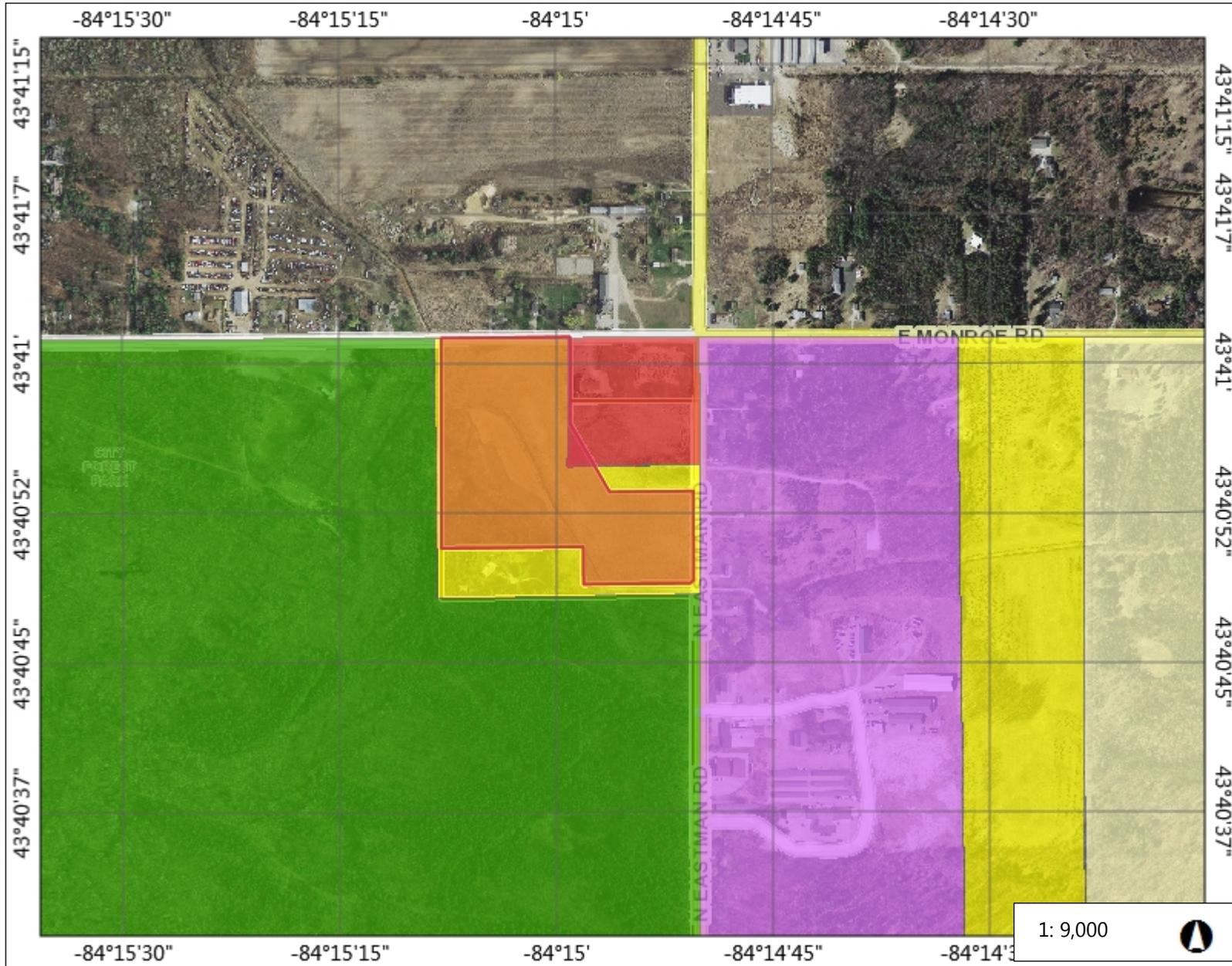


Current Adopted Master Plan West End to MUGA



Current Adopted Master Plan North Waldo Area



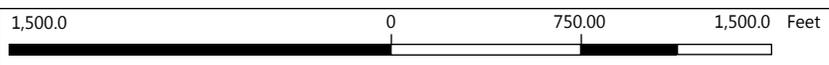


Legend

- Future Land Use**
- COMMERCIAL
 - DOWNTOWN
 - HEAVY INDUSTRIAL
 - HIGH DENSITY RESIDENTIAL
 - INSTITUTION AND CIVIC
 - LIGHT INDUSTRIAL
 - LOW DENSITY RESIDENTIAL
 - MEDIUM DENSITY RESIDENTIAL
 - MULTI-USE CENTER
 - OFFICE - SERVICE
 - PRIVATE RECREATION
 - PUBLIC PARKS AND RECREATIC

- City Boundary
- Tax Parcels

1: 9,000



NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Intl
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Enter a Map Description



Center City Overlay District

Date: May 4, 2016

STAFF REPORT TO THE PLANNING COMMISSION

SUBJECT: Center City Overlay Zoning District – Temporary Signage Provisions

APPLICANT: Staff Proposal on behalf of the Center City Authority

PROPOSED: Temporary Signage Provisions to be added to the Center City Overlay Zoning District

REPORT

BACKGROUND

In the fall of 2015, Midland City Council approved the establishment of the Center City Overlay Zoning District (CCO) as recommended by the Planning Commission and Center City Authority Board. This district encompasses the full extent of the Center City Authority (CCA), a Corridor Improvement Authority, area along South Saginaw Road and Washington Street from Ashman Circle to Patrick Road. To date, the zoning provisions of the CCO district relate to permanent signage, including standards for ground signs, wall signs, projecting signs, and sandwich/board a-frame signs. The district standards do not, however, address any form of temporary signage.

In the early part of 2016, at the request of the CCA, city staff began working with the CCA's Physical Improvements Committee on drafting regulatory standards for temporary signage within the CCO district. In addition, the current sandwich/board sign standards were also reviewed and proposed revisions were drafted. The following outlines the proposed revisions and additions to the CCO district signage regulations, as recommended for approval by the CCA Board during its meeting on April 20, 2016.

PROPOSAL DETAILS

Temporary Banner Signs

In the Zoning Ordinance, a Banner Sign is defined as "a sign made of fabric or any non-rigid material with no enclosing framework." This definition includes:

- Wall mounted banners
- "Feathers" (ground mounted banners that are similar to a tall vertical flag)

Proposed Temporary Banner Regulations within CCO:

➤ Maximum Size:	32 square feet*
➤ Maximum Height:	15 feet*
➤ Type of Sign Permitted:	Plastic or Fabric*
➤ Setback Requirement:	Shall not be placed in the right of way.
➤ Permit Required:	Yes (30 days/permit)
➤ Max. Permits Per Year	4 (120 days)

Sandwich Board Signs

Currently, the Zoning Ordinance stipulates that sandwich board signs must be portable and free-standing in design in all districts where permitted. In the CCO district only, sandwich board signs must be:

- Constructed using high-quality materials;
- Placed on an improved, pedestrian-oriented surface;
- Located within eight (8) feet of the pertaining establishment’s main entrance; and
- Permitted outdoors only during business hours.

However, the district regulations do not specify how many sandwich board signs are permitted per business establishment. As such, the CCA Board is proposing revised regulations to address this omission and to adjust the amount of square footage allowed per establishment.

Proposed Sandwich Board Sign Regulations:

➤ Maximum Size:	46 12 square feet
➤ Number Permitted Per Establishment:	1 per entrance, total between all sandwich board signs not to exceed 12 square feet.



Banner Sign Samples



“Feather” Sign Sample



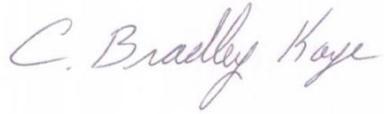
Sandwich Board Sign

PLANNING COMMISSION CONSIDERATION

Staff has brought this proposal in front of the Commission by request of the Center City Authority Board. Following initial review, if the Commission determines to do so, further consideration of this proposal will be in accordance with Section 30 of the Zoning Ordinance. Section 30 stipulates that a public hearing will be held by both the Planning Commission and City Council as part of the consideration of the amendment.

If determined to move forward on this proposal during the meeting on May 10, 2016, staff anticipates that the Planning Commission will hold a public hearing on this matter on June 14, 2016. A recommendation could be formulated to City Council during that evening or thereafter. If formulated during the June 14 meeting, staff anticipates that on June 27, 2016 the City Council will set a public hearing on this matter. Given the statutory notification and publication requirements, the City Council hearing would then be scheduled for July 18, 2016. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

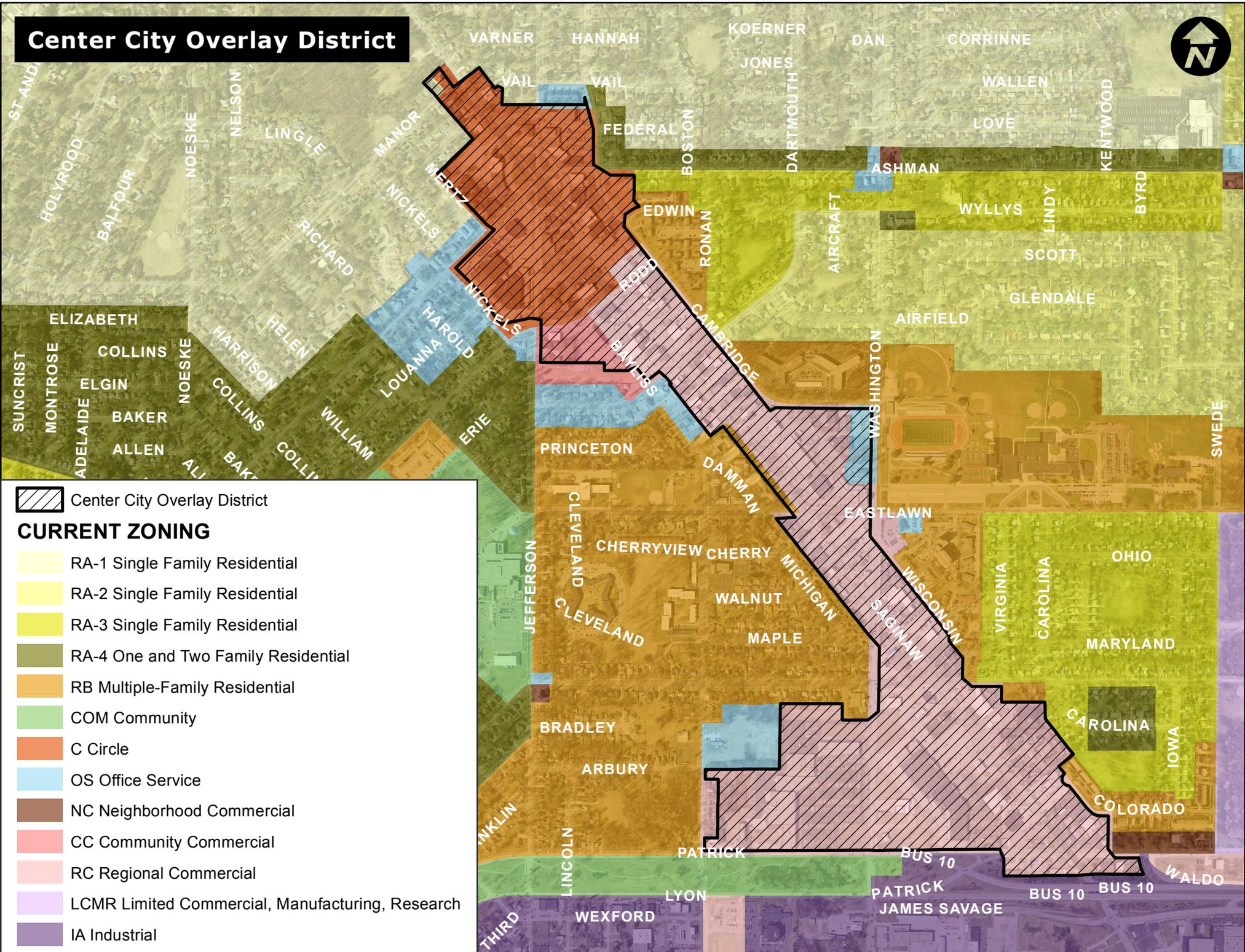
Respectfully Submitted,

A handwritten signature in cursive script that reads "C. Bradley Kaye". The signature is written in a dark ink and is positioned below the typed name.

C. Bradley Kaye, AICP, CFM
Assistant City Manager for Development Services

/grm

Center City Overlay District



 Center City Overlay District

CURRENT ZONING

-  RA-1 Single Family Residential
-  RA-2 Single Family Residential
-  RA-3 Single Family Residential
-  RA-4 One and Two Family Residential
-  RB Multiple-Family Residential
-  COM Community
-  C Circle
-  OS Office Service
-  NC Neighborhood Commercial
-  CC Community Commercial
-  RC Regional Commercial
-  LCMR Limited Commercial, Manufacturing, Research
-  IA Industrial